

CITY OF
TOPEKA

MINUTES

Landmarks Commission

Thursday, April 13, 2023

5:30PM

Zoom Video Conference

Members present: Melina Stewart (Chair), Mark Burenheide, Dave Frederick, David Heit, Donna Rae Pearson Grant Sourk, Christine Steinkuehler, Cassandra Taylor (8)

Members Absent:

Staff Present: Dan Warner, Planning Director; William Sharp, Planner, Rhiannon Friedman, Interim Planning & Development Director

Roll Call – Chairwoman Melina Stewart called the meeting to order with 7 members present for a quorum.

Approval of Minutes from March 9, 2023 – Motion by Commissioner Pearson; **Second** by Commissioner Stewart. **APPROVED** (8-0-0)

Declaration of conflict of interest/ex parte communications – Commissioner Buernheide declared that he had a potential conflict with the Potwin Presbyterian Church, and will be abstaining from the vote.

HL23/01 by Potwin Lofts LLC, requesting to amend the District Zoning Map on approximately 0.39 acres of property located at 400 SW Washburn Ave by adding the “HL” Historic Landmark Overlay District designation to property currently zoned “PUD” Planned Unit Development with X-1 Mixed Use District and M-2 Multiple Family Dwelling District for designation as a local landmark.

Staff:

William Sharp presented the staff report and staff’s recommendation for approval.

Owner’s Representative:

Commissioner Buernheide stated that research has taken place to locate the artist for the stain glass windows, and unfortunately no one is able to find that information. At some point in the future, the windows will need to be replaced.

Questions/Comments from Commissioners:

Commissioner Pearson inquired why this landmark was not going after “state or national” titles. Commissioner Buernheide stated that the goal is to eventually go after those in the future.

Commissioner Pearson asked for clarification about a landmark, and whether or not it was approved at the national level, if all “titles” below it would automatically be approved as well. Mr. Sharp stated that was not true. Mr. Warner clarified even further that state/national laws do not trickle down to the local level, if a landmark is to be categorized in all 3 categories then, a process has to be followed for each one.

Commissioner Heit asked for clarification from Commissioner Buernheide as to whether or not he owned both the church and the east education center. Commissioner Buernheide confirmed that he owned the entire land. Commissioner Heit also asked for clarification on what was being turned into the proposed lofts, and Commissioner Buernheide confirmed that it was just the east education center.

Motion by Commissioner Heit, second by Commissioner Sourk: Concur with staff's recommendation that the property located at 400 SW Washburn Ave, Potwin Presbyterian Church be designated as a local landmark. Approved 7-0-1 (Mr. Burenheide abstained).

Other Non - Action Items

NRHP Nominations for the Kirkpatrick, Hazen L. House (1320 Pembroke Lane)-Ordinance No. 18420
Mr. Sharp is just seeking comments to pass along for national consideration.

Update on African American Historic Resources Survey/MDPF
Mr. Sharp provided updates on the report.

Design Review Committee
Current Members: Melina Stewart, Donna Rae Pearson, Cassandra Taylor
Mr. Frederick volunteered to serve as the backup committee member.

With nothing more on the agenda, the meeting adjourned at 6:01pm.



CITY OF
TOPEKA

AGENDA

LANDMARKS COMMISSION

**Thursday, June 8, 2023
5:30 P.M.**

Zoom Video Conference

MEMBERS OF THE LANDMARKS COMMISSION

Melina Stewart (2023 Chair)
Dave Frederick (2023 Vice Chair)
Donna Rae Pearson
Mark Burenheide
David Heit
Grant Sourk
Christine Steinkuehler
Cassandra Taylor

-
- The Topeka Landmarks Commission holds a public meeting on the 2nd Thursday of each month.
 - The following agenda identifies and describes each proposal to be considered by the Commission.
 - Each item to be considered by the Commission will be introduced by the Planning Division Staff. The Commission will then hear and consider arguments both for and against each proposal.
 - Individuals wishing to address the Commission are requested to state their name and address for the official record.
 - Motions on all matters which require a decision by the Commission, are made in the affirmative. On a roll call vote, Commission members then vote yes, no, or abstain based on the affirmative motion.
 - The owner of the local historic landmark or property owner within the local historic district may appeal the Commission's decision to the City Council by submitting a notice of appeal to the Planning Director within 10 calendar days of the decision.



ADA Notice: For special accommodations for this event, please contact the Planning Division at 785-368-3728 at least three working days in advance.



CITY OF
TOPEKA

LANDMARKS COMMISSION

Agenda for Thursday June 8, 2023

A. Call to Order

B. Approval of Minutes from April 13, 2023

C. Announcement of Potential Conflicts

D. Action Items

1. **CLGR23/06 by AIM Strategies LLC**, requesting a review under Kansas State Preservation Law Review [K.S.A. 75-2724] for the remodeling of the exterior and interior 1st floor of the building located at 913 S. Kansas Avenue. This building is designated as a contributor to the historic integrity of the South Kansas Avenue Commercial Historic District.

E. Other Items

F. Adjournment



ADA Notice: For special accommodations for this event, please contact the Planning Division at 785-368-3728 at least three working days in advance.

**CERTIFIED LOCAL GOVERNMENT
KANSAS HISTORIC PRESERVATION LAW
PROJECT REVIEW REPORT
TOPEKA LANDMARKS COMMISSION**

CASE NO: CLGR23/06

by: Aim Strategies, Inc.

Project Address: 913 S Kansas Avenue

Property Classification: Designated as a *Contributing Property* to the historic integrity of the South Kansas Avenue Commercial Historic District.

Standards: Secretary of the Interior's Standards for Rehabilitation; Downtown Topeka Design Guidelines

Attachments: Site Plan [] Elevations [X] Arch./Const. Plans [X] Pictures [X]

PROPOSAL:

This proposal is to accommodate the remodeling for the exterior and interior of the building located at 913 S Kansas Avenue. The outer entrance will be converted to a vestibule/ lounge area for the building. Interior renovations are only expected to take place on the first floor. First floor renovations will consist of a new area for a lobby and cigar shop, a men's store, and an area for six barber stations located in the back of the building.



BACKGROUND:

This building dates to 1910. The building is listed as a contributing structure to the historic integrity of the surrounding South Kansas Avenue Commercial Historic District in 2015. The property was listed having good integrity as a specialty store having had several different businesses occupy the structure.

In 2017, the building went through renovations on the first and second floors for the removal and partial replacement of the front façade (CLGR17/03). The removal of the façade was successful and the original materials and window openings on the second level of the façade are now visible. The lower storefront is currently encased in marble panels that have been specifically installed in a bookend pattern that reflects the mirrored “grains” of the marble within each panel. This storefront was installed during the 1950s, and is of very high quality design and craftsmanship.

PROJECT DETAILS:

The project involves changes to the interior and exterior on the 1st floor. The entrance will be an open vestibule/lounge area for customers. The previous storefront system consisting of the frame, glass, walls and associated doors will be removed. A new overhead gate door will be installed in the prior location of the entrance. The outer display cases will remain intact, along with the marble finishing along the first level façade. The inner display cases just past the entrance will be removed as part of the renovation to the future lobby and vestibule.

The project will also include a lobby and cigar shop, men’s shop, and an area for six barber stations.



REVIEW SUMMARY: The Kansas State Historic Preservation Office requires that all projects occurring on any property listed on the Register of Historic Kansas Places be reviewed for their affect on the listed property and the surrounding district. State law (K.S.A. 75-2724) establishes that the Secretary of the Interior’s Standards for Rehabilitation be used to evaluate changes proposed to any property that is individually listed, or is located within an historic district. The following is an analysis of the application of each Standard to the proposed project.

Standard 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Analysis: No change in use is proposed in conjunction with this proposal.

Standard 2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Analysis: No features within the existing 1st-level interior are original to the building. Based upon available historical documentation, it is estimated that the current interior treatment was installed during the late 1950s or early 1960s. The features within the existing finish treatments are extremely high quality, and have been coordinated to appear in precisely the same manner as they are today. The storefront will keep its characteristic recessed entry and the outer display windows will remain in place. Per the Downtown Topeka Historic District Design Guidelines regarding entrances, “Preserve the historic entrance configurations and materials of historic storefronts from all periods.” The proposed alterations will keep with this standard. The removal and replacement of the aluminum and glass doors currently at the location will not have an effect on the historic character of the storefront. The alteration will also follow the recommendations set out in the Design Guidelines such as that the entrance will retain its historic vestibule.

Standard 3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Analysis: Construction of this building will not introduce features that will create a false sense of historic development. No historic features or elements from other buildings will be added.

Standard 4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Analysis: Although not original, the interior finish of the 1st-level interior of this building can be deemed to have acquired historic significance in its own right. The current proposal maintains the majority of these treatments within their intended and present configuration, thus preserving this interior’s acquired historic integrity.

Standard 5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Analysis: No distinctive features, finishes, or construction techniques will be removed or altered in conjunction with this project.

Standard 6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Analysis: N/A

Standard 7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Analysis: N/A

Standard 8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Analysis: N/A

Standard 9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Analysis: This Standard applies only if it pertains to new construction. The building, as proposed, would be differentiated in its design and appearance from its surrounding historic character, yet would also be compatible and complimentary in its size and scale, materials, and architectural features to the surrounding District.

Standard 10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Analysis: N/A

STAFF RECOMMENDATION: In the performance of this review under KSA 75-2724, Staff is recommending a finding that the proposed interior and exterior alterations to the building at 913 S Kansas Avenue **IS CONSISTENT with the recommendations outlined in the Downtown Topeka Design Guidelines**, and **will NOT damage or destroy the historical integrity of the structure, or the surrounding South Kansas Avenue Commercial Historic District.**

Prepared by: William Sharp, Planner I

APPEAL TO THE GOVERNING BODY: If the Landmarks Commission determines that the proposed treatment will damage or destroy the historic integrity of the property and/or the surrounding historic district, the applicant may appeal to the governing body. It will be incumbent upon the governing body to make a determination, after consideration of all relevant factors, that: (1) there are no feasible and prudent alternatives to the removal of the facade; and (2) that alternatives to the project include all possible planning to minimize harm to the property and the district that may result from those alternatives.



1 NORTH-WEST CORNER Future Barber Shop



2 SOUTH-WEST CORNER Future Barber Shop



3 NORTH-EAST CORNER Future Barber Shop



4 SOUTH-EAST CORNER Future Barber Shop



5 FIRE & ELECTRICAL PANELS Future Barber Shop



6 View Set Extra Line WEST VIEW



7 EXISTING AIR EQUIP./ NORTH WALL Future Men's Store



8 NORTH-WEST CORNER Future Men's Store



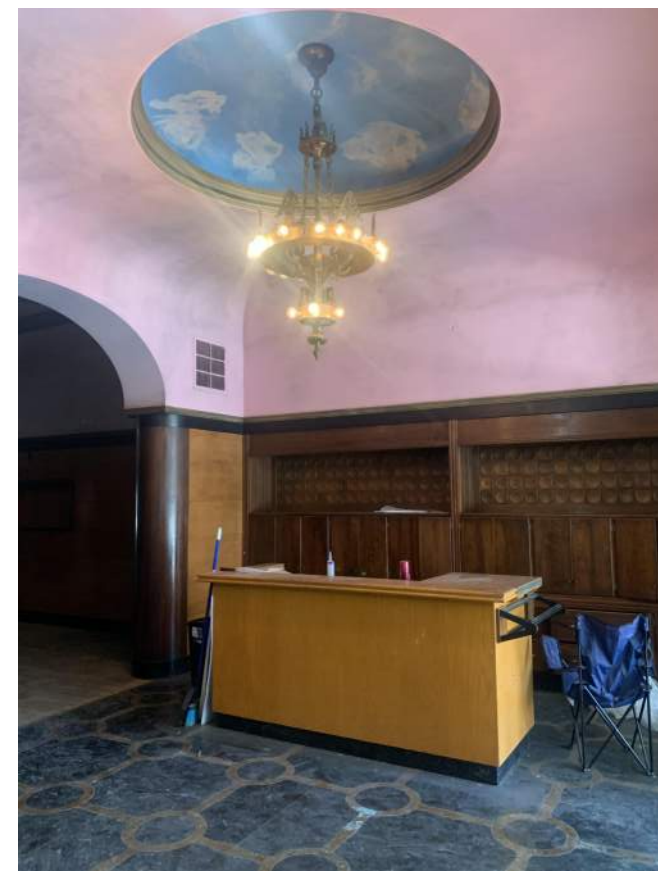
9 NORTH-EAST CORNER Future Men's Store



10 SOUTH WALL Future Men's Store



11 SOUTH-WEST CORNER Future Lobby & Cigars



12 COUNTER / NORTH-WEST CORNER Future Lobby & Cigars



13 COUNTER/ NORTH-EAST CORNER Future Lobby & Cigars



14 SOUTH-WEST CORNER Future Vestibule



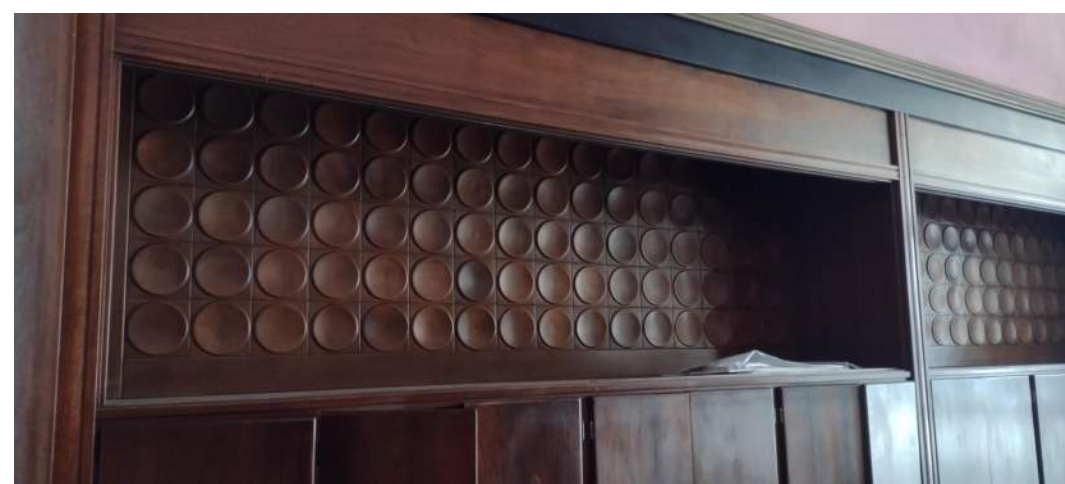
15 NORTH-EAST CORNER Future Vestibule



16 NORTH-WEST CORNER Future Vestibule



19 LOWER SECTION Existing Cabinets



20 UPPER SECTION Existing Cabinets



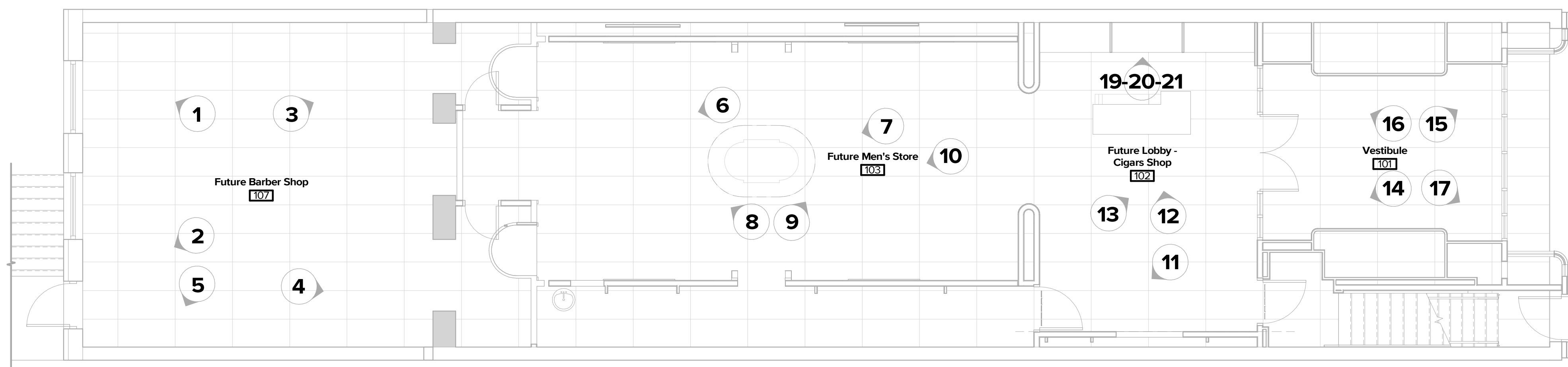
21 MID SECTION Existing Cabinets



17 SOUTH-EAST CORNER Future Vestibule



18 Exterior Elevation



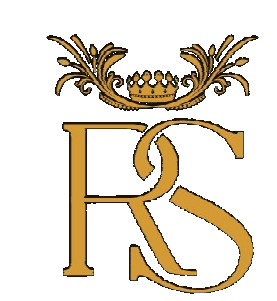
FIRST FLOOR Existing Plan SCALE: 3/16" = 1'-0"

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

Royal Society

Topeka, KS

913 S Kansas Ave



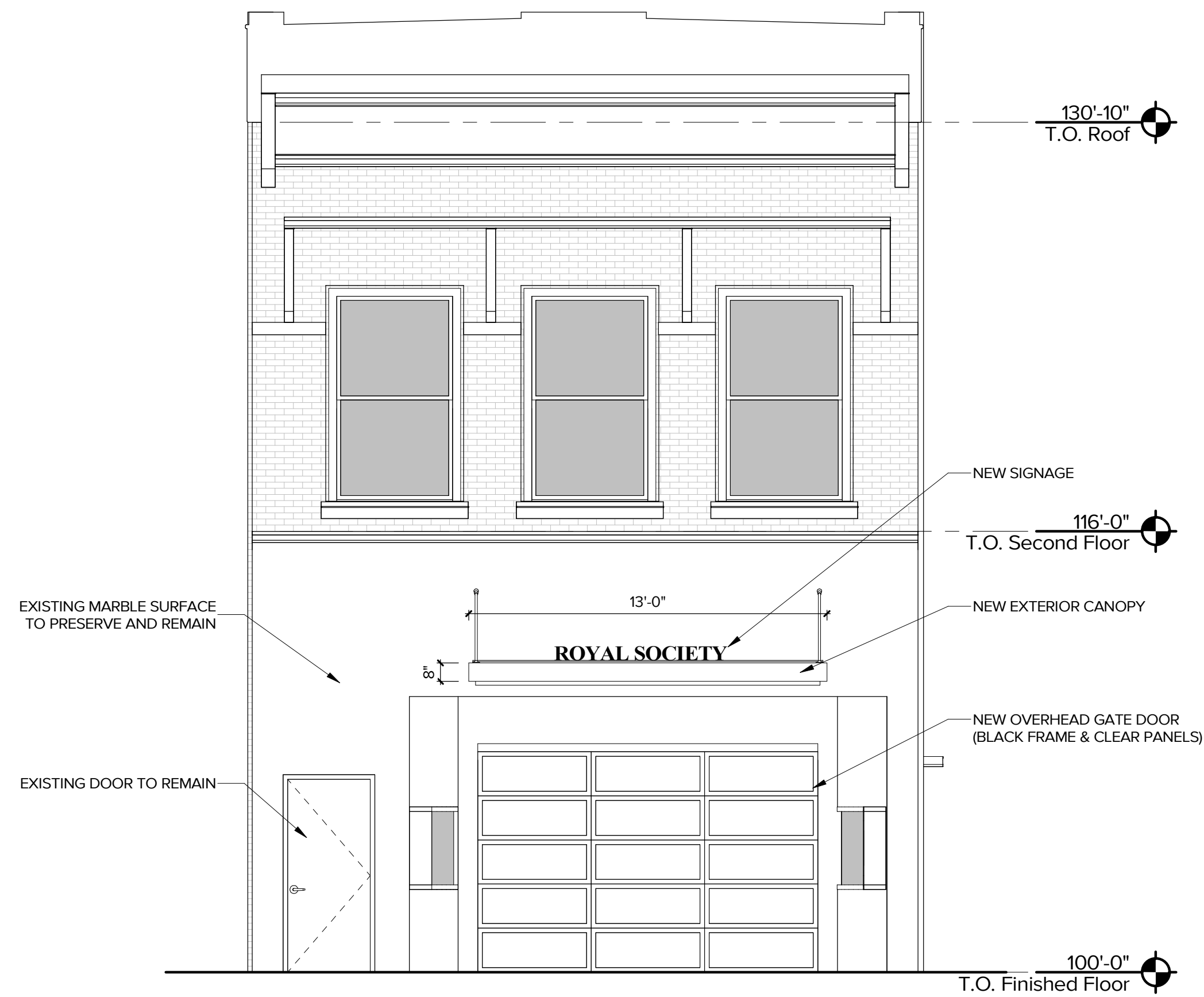
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PROJECT ARCHITECT:	SEG
PROJECT MANAGER:	JRD
DRAWN BY:	MGL
CHECKED BY:	JRD
ISSUE DATE:	05/31/23
ISSUE RECORD:	Permit Set
REVISIONS	

SHEET TITLE

Existing Condition Photos

CODE NAME
SHEET NUMBER

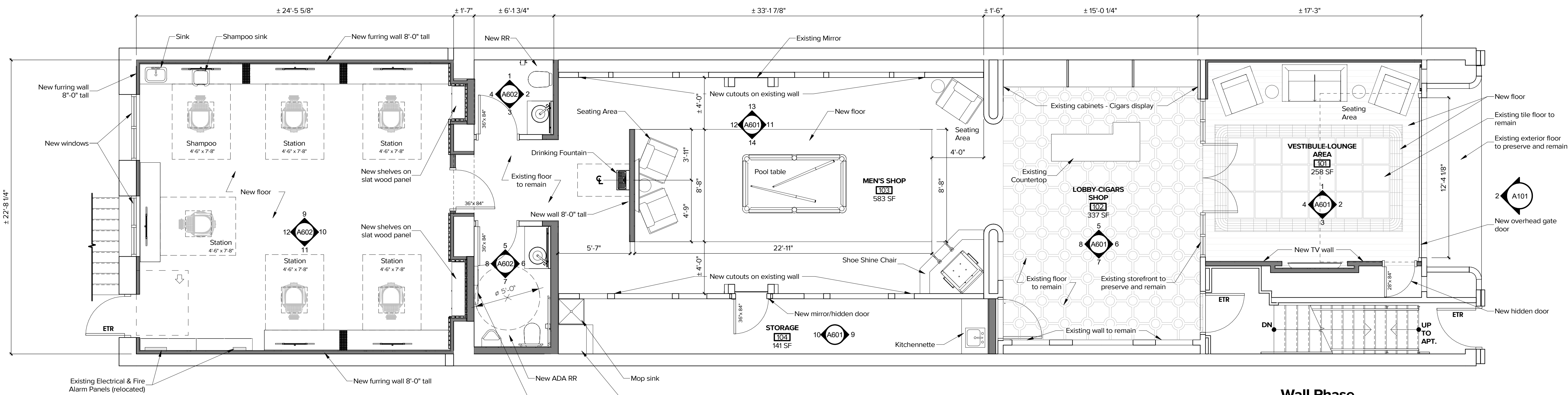
A011



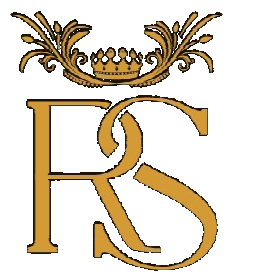
2 EAST Exterior Elevation
SCALE: 1/4" = 1'-0"



Exterior Facade Rendering



1 FIRST FLOOR Floor Plan
SCALE: 1/4" = 1'-0"



PROJECT NUMBER:	23-031
PROJECT ARCHITECT:	SEG
PROJECT MANAGER:	JRD
DRAWN BY:	MGL/KPR
CHECKED BY:	JRD
ISSUE DATE:	05/31/23
ISSUE RECORD:	Permit Set
REVISIONS	

SHEET TITLE
Floor Plan & Elevation for Landmarks

CODE NAME
SHEET NUMBER

A101

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

Topeka, KS

Royal Society

913 S Kansas Ave



PROJECT NUMBER:	23-031
PROJECT ARCHITECT:	SEG
PROJECT MANAGER:	JRD
DRAWN BY:	KPR
CHECKED BY:	MGL
ISSUE DATE:	05/31/23
ISSUE RECORD:	Permit Set

REVISIONS

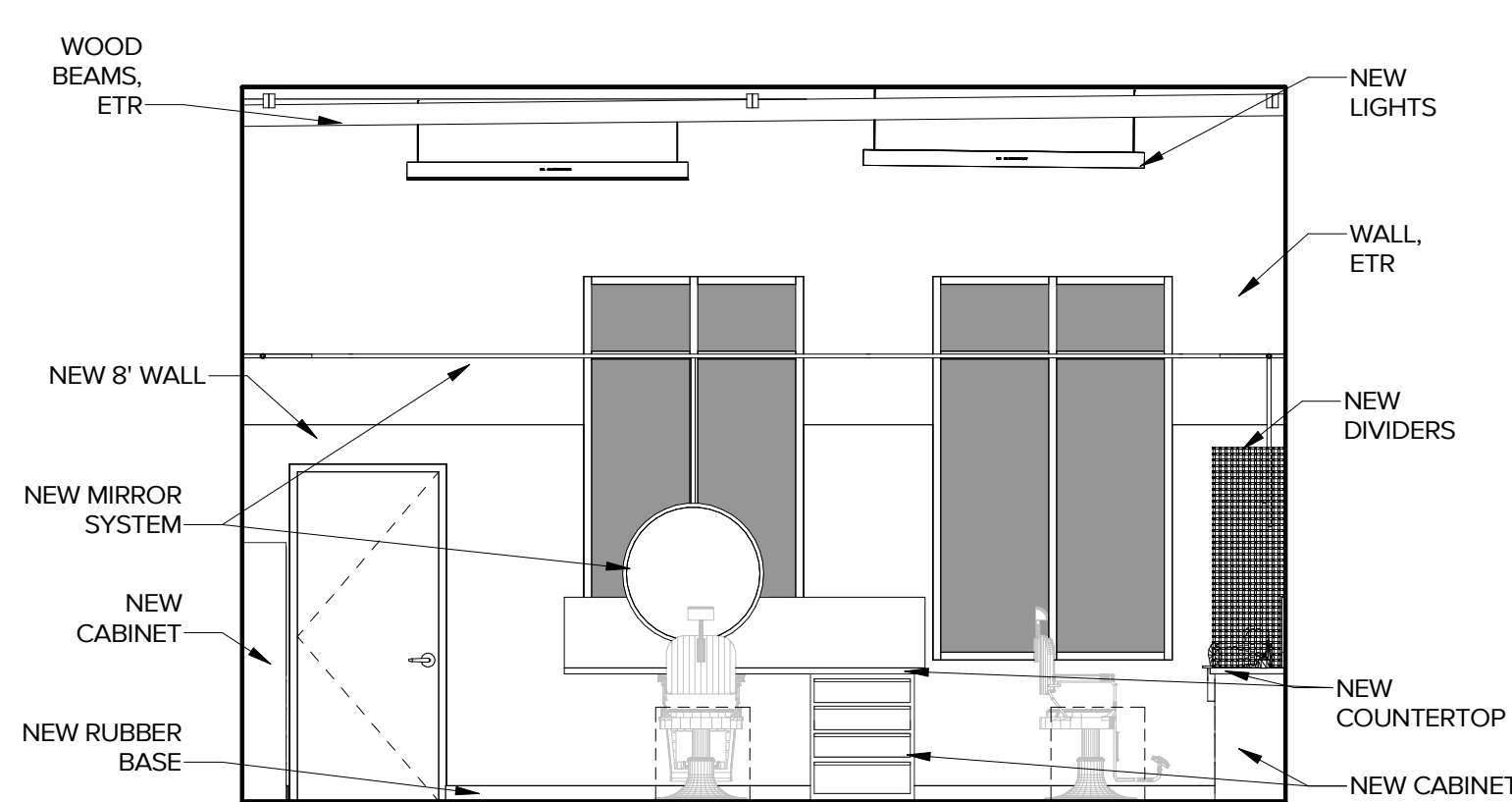
SHEET TITLE

Interior Elevations

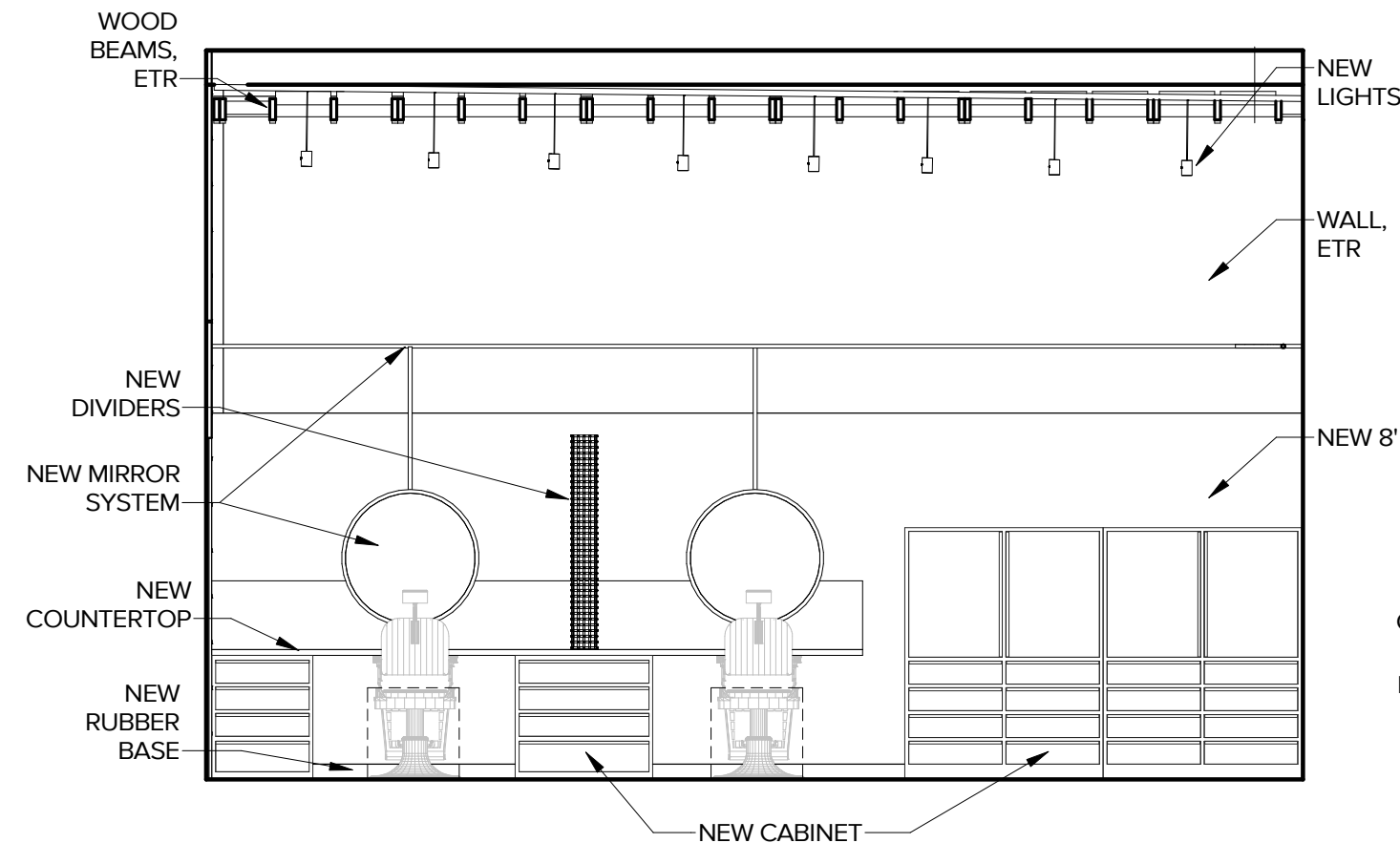
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SHEET NUMBER

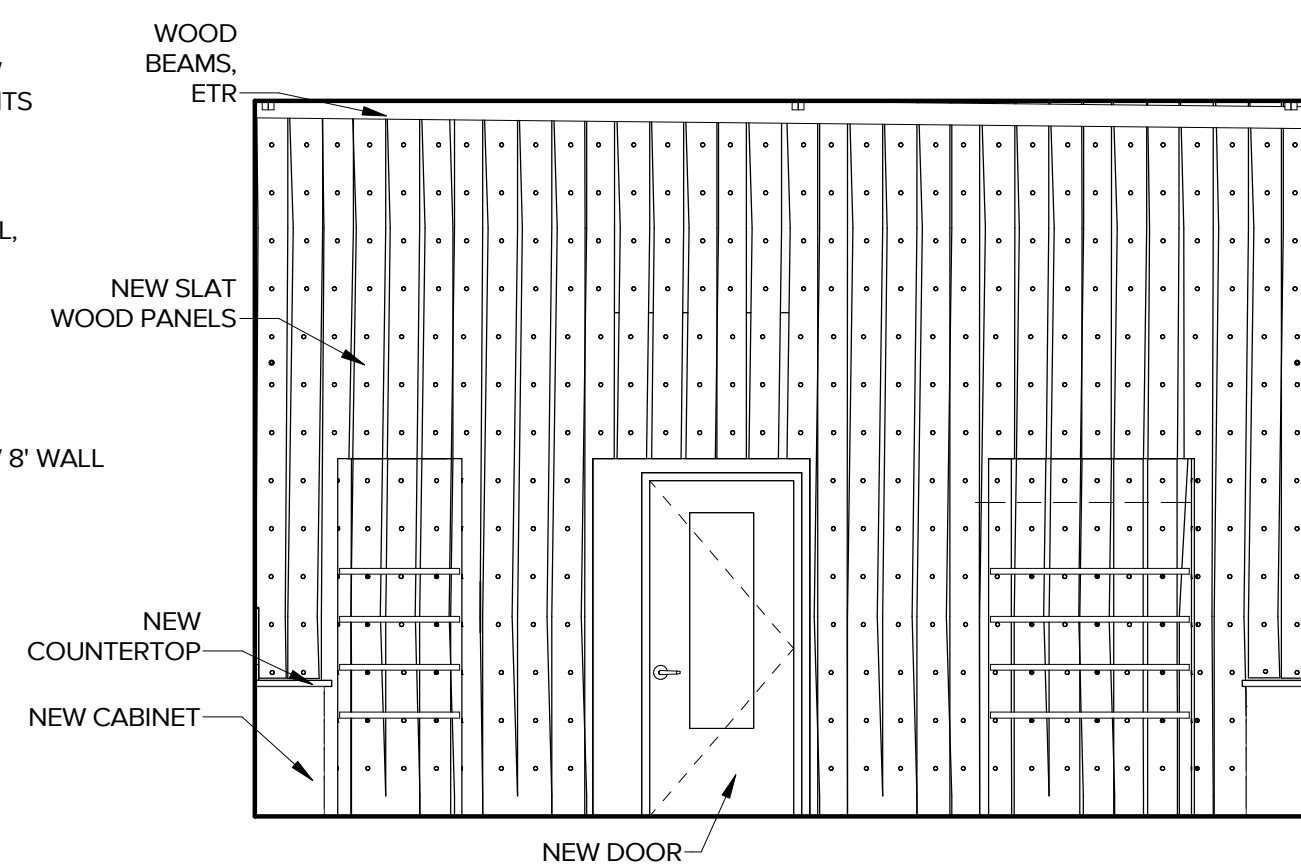
A602



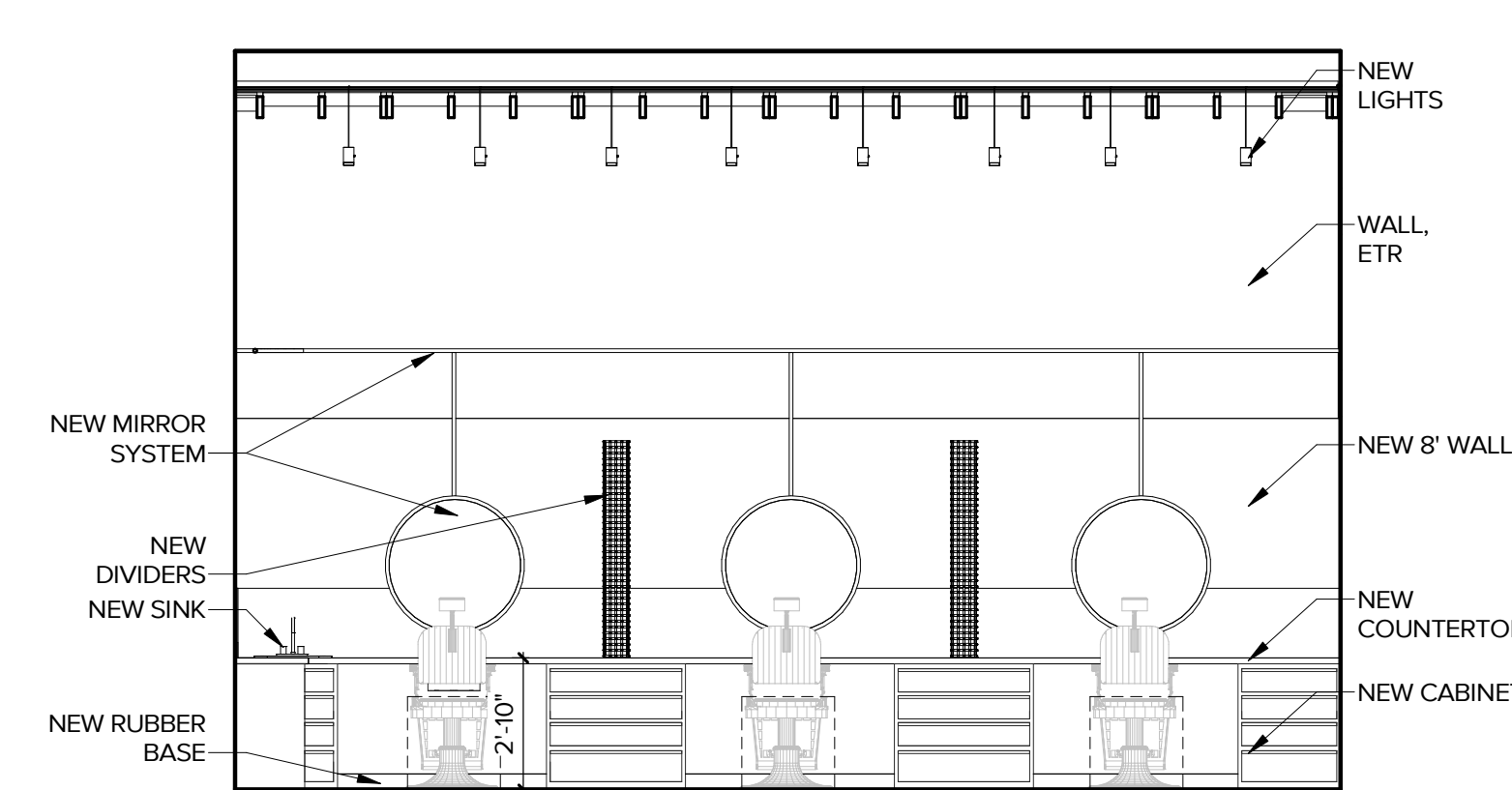
12 BARBER SHOP - W
Interior Elevation
SCALE: 1/4" = 1'-0"



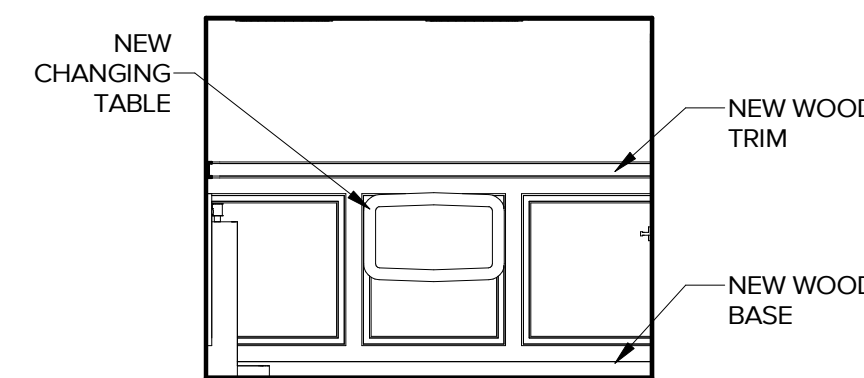
11 BARBER SHOP - S
Interior Elevation
SCALE: 1/4" = 1'-0"



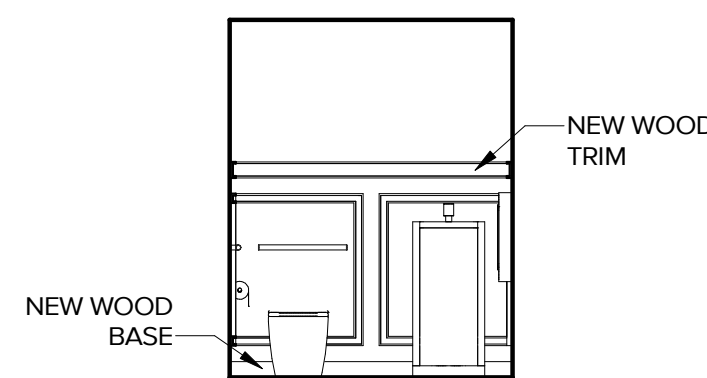
10 BARBER SHOP - E
Interior Elevation
SCALE: 1/4" = 1'-0"



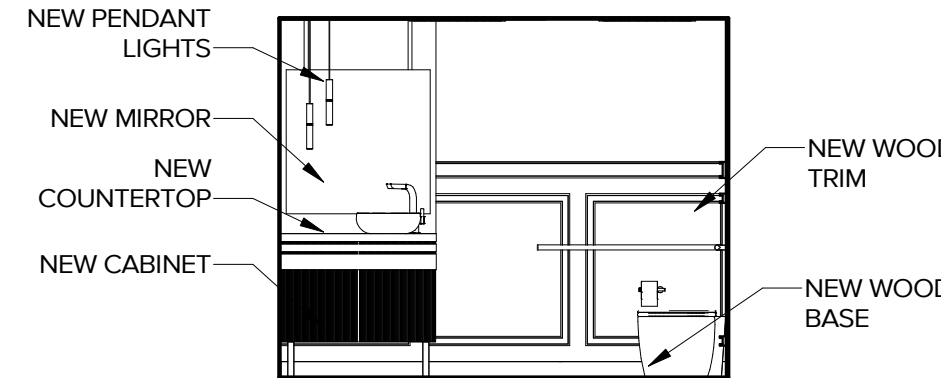
9 BARBER SHOP - N
Interior Elevation
SCALE: 1/4" = 1'-0"



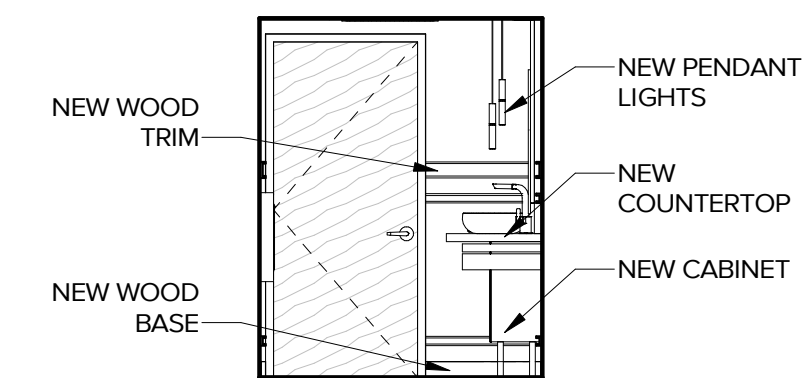
8 ADA RESTROOM - W
Interior Elevation
SCALE: 1/4" = 1'-0"



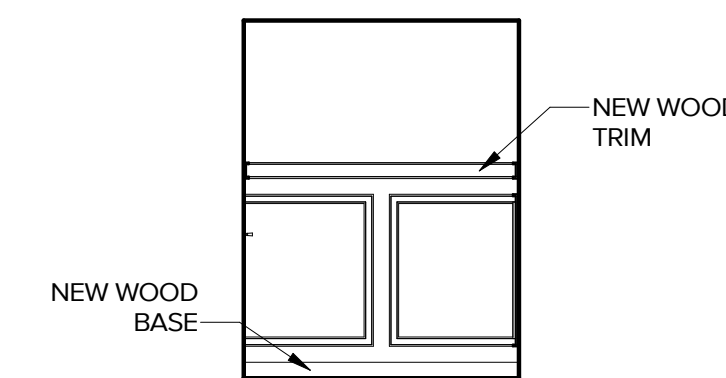
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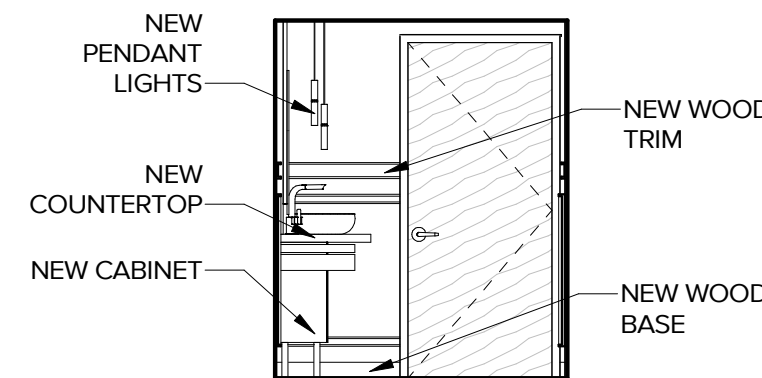
6 ADA RESTROOM - E
Interior Elevation
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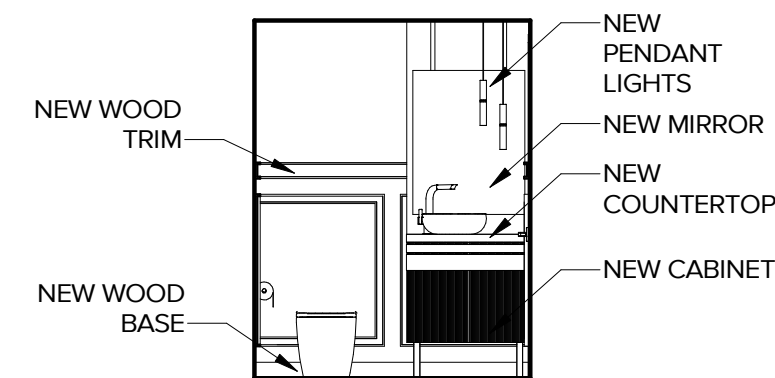
5 ADA RESTROOM - N
Interior Elevation
SCALE: 1/4" = 1'-0"



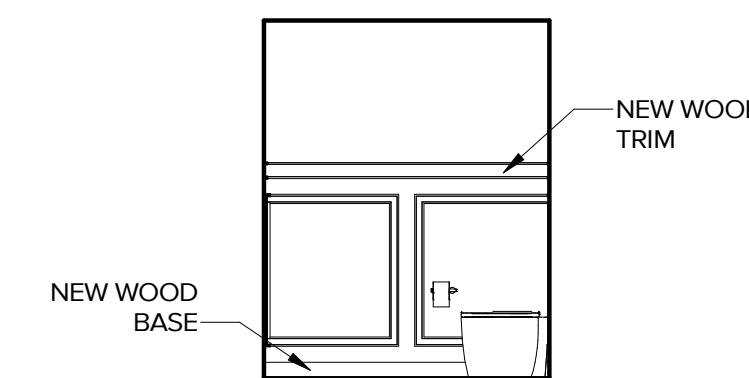
4 RESTROOM - W
Interior Elevation
SCALE: 1/4" = 1'-0"



3 RESTROOM - S
Interior Elevation
SCALE: 1/4" = 1'-0"



2 RESTROOM - E
Interior Elevation
SCALE: 1/4" = 1'-0"



1 RESTROOM - N
Interior Elevation
SCALE: 1/4" = 1'-0"

MECHANICAL AND PLUMBING SYMBOL LEGEND

SOME SYMBOLS AND ABBREVIATIONS ON THIS LEGEND MAY NOT BE USED

MECHANICAL PIPING table with symbols for refrigerant liquid, suction, drain, supply, return, hot water, etc.

PLUMBING PIPING table with symbols for domestic cold water, hot water, waste, storm, etc.

PIPING SYMBOLS table with symbols for shut-off valves, strainers, check valves, etc.

PIPING SPECIALTIES table with symbols for pressure gauges, thermometers, relief valves, etc.

PLUMBING FIXTURES/EQUIPMENT table with symbols for hose bibbs, hydrants, sprinklers, etc.

FIRE ALARM table with symbols for manual pull stations, smoke detectors, etc.

TELEPHONE/DATA table with symbols for telephone outlets, data outlets, etc.

SECURITY table with symbols for fire alarm control panels, annunciators, etc.

AUDIOVISUAL table with symbols for television outlets, speakers, etc.

EQUIPMENT table with symbols for disconnect switches, starters, etc.

GENERAL SYMBOLS table with symbols for connection to existing, elevation, etc.

15000 - MECHANICAL SPECIFICATIONS

SECTION 15000 - MECHANICAL REQUIREMENTS. 1. GENERAL REQUIREMENTS. 2. WATER PIPING...

SECTION 15100 - PLUMBING. A. WATER PIPING - ALL WATER PIPING SHALL BE 95-5 TIN-ANTIMONY JOINED TYPE L COPPER...

SECTION 15200 - PLUMBING FIXTURES/EQUIPMENT. A. SINKS - SINKS SHALL BE CAST IRON ROOF DRAIN W/ FLANGE...

SECTION 15300 - HVAC. A. PROVIDE COMPLETE HVAC SYSTEM AS SHOWN ON DRAWINGS INCLUDING ALL NECESSARY EQUIPMENT...

SECTION 15400 - PLUMBING FIXTURES/EQUIPMENT. A. SINKS - SINKS SHALL BE CAST IRON ROOF DRAIN W/ FLANGE...

SECTION 15500 - PLUMBING FIXTURES/EQUIPMENT. A. SINKS - SINKS SHALL BE CAST IRON ROOF DRAIN W/ FLANGE...

16000 - ELECTRICAL SPECIFICATIONS

SECTION 16000 - ELECTRICAL REQUIREMENTS. GENERAL REQUIREMENTS. 1. ALL WORK SHALL BE IN ACCORDANCE W/ LATEST EDITION OF INTERNATIONAL BUILDING CODES...

SECTION 16100 - CONDUIT & CONDUCTORS. A. FOLLOW CIRCUITING SHOWN ON PLANS. USE NO CONDUIT SMALLER THAN 1/2" & NO CONDUCTORS SMALLER THAN #12 UNLESS NOTED OTHERWISE...

SECTION 16200 - GROUNDING. A. SUPPLEMENT GROUNDING NEUTRAL OF SECONDARY DISTRIBUTION SYSTEM W/ EQUIPMENT GROUNDING NEUTRAL...

SECTION 16300 - ELECTRICAL EQUIPMENT. A. JUNCTION BOXES & OUTLET BOXES SHALL BE GALVANIZED KNOCKOUT TYPE. LIGHTING FIXTURE BOXES IN CEILING SHALL NOT BE LESS THAN 4" OCTAGONAL...

SECTION 16400 - LOW VOLTAGE CABLING. A. PROVIDE BROADBAND RG COAXIAL CABLE FOR CABLE TELEVISION OUTLETS. B. PROVIDE ALL NECESSARY CABLEING, EQUIPMENT, BOXES, SPLITTERS, CONNECTORS, COVERS, ETC. FOR COMPLETE & OPERATIONAL SYSTEM.

SECTION 16500 - ELECTRICAL IDENTIFICATION. A. MANUFACTURED LABELS FOR EACH PANELBOARD & TRANSFORMER. TYPEWRITTEN PANEL SCHEDULES MOUNTED IN PANELS.

16000 - ELECTRICAL SPECIFICATIONS

SECTION 16600 - ELECTRICAL REQUIREMENTS. GENERAL REQUIREMENTS. 1. ALL WORK SHALL BE IN ACCORDANCE W/ LATEST EDITION OF INTERNATIONAL BUILDING CODES...

SECTION 16700 - WIRING DEVICES. A. CONVENIENCE OUTLETS - SPEC GRADE 20 AMP DUPLEX W/ GROUND & SS WALL PLATES. OTHER OUTLETS SHALL BE VERIFIED W/ SUPPLIER FOR PROPER NEMA CONFIGURATIONS...

SECTION 16800 - LED LUMINAIRES. A. PROVIDE LIGHTING FIXTURES W/ ALL ACCESSORIES RE'D FOR HANGING. COORD MOUNTING OF LIGHTING FIXTURES W/ ARCHITECT & G/C. ADDITIONAL FIXTURE SUPPORTS SHALL BE PROVIDED BY E/C...

SECTION 16900 - FIRE ALARM SYSTEM. A. PROVIDE COMPLETE & OPERATIONAL MICROPROCESSOR BASED FIRE ALARM SYSTEM. SYSTEM SHALL MONITOR SPRINKLER SYSTEM TAMPER & FLAME SWITCHES, OPERATE AIR HANDLING DUCT SMOKE DETECTORS & UNIT SHUTDOWN...

SECTION 17000 - LOW VOLTAGE CABLING. A. PROVIDE BROADBAND RG COAXIAL CABLE FOR CABLE TELEVISION OUTLETS. B. PROVIDE ALL NECESSARY CABLEING, EQUIPMENT, BOXES, SPLITTERS, CONNECTORS, COVERS, ETC. FOR COMPLETE & OPERATIONAL SYSTEM.

SECTION 17100 - ELECTRICAL IDENTIFICATION. A. MANUFACTURED LABELS FOR EACH PANELBOARD & TRANSFORMER. TYPEWRITTEN PANEL SCHEDULES MOUNTED IN PANELS.

ABBREVIATIONS

Table of abbreviations: A/E ARCHITECT / ENGINEER, AFF ABOVE FINISHED FLOOR, AG ABOVE GRADE, etc.

Table of abbreviations: BLDG BUILDING, BMS BUILDING MANAGEMENT SYSTEM, C CONDUIT, etc.

Table of abbreviations: DOW DOMESTIC COLD WATER, DDC DIRECT DIGITAL CONTROLS, DF DRINKING FOUNTAIN, etc.

Table of abbreviations: EA EXHAUST AIR, E/C ELECTRICAL CONTRACTOR, EA EXHAUST AIR, EDF ELECTRIC DRINKING FOUNTAIN, etc.

Table of abbreviations: MLO MAIN LUGS ONLY, NFA NET FREE AREA, NA NIGHT LIGHT, etc.

Table of abbreviations: RE/REF REFER / REFERENCE, RFR RELIEF FAN, RL RELOCATED ITEM, etc.

Architect One logo with contact information: Topeka, Kansas City, 785.271.7010, www.ao.design

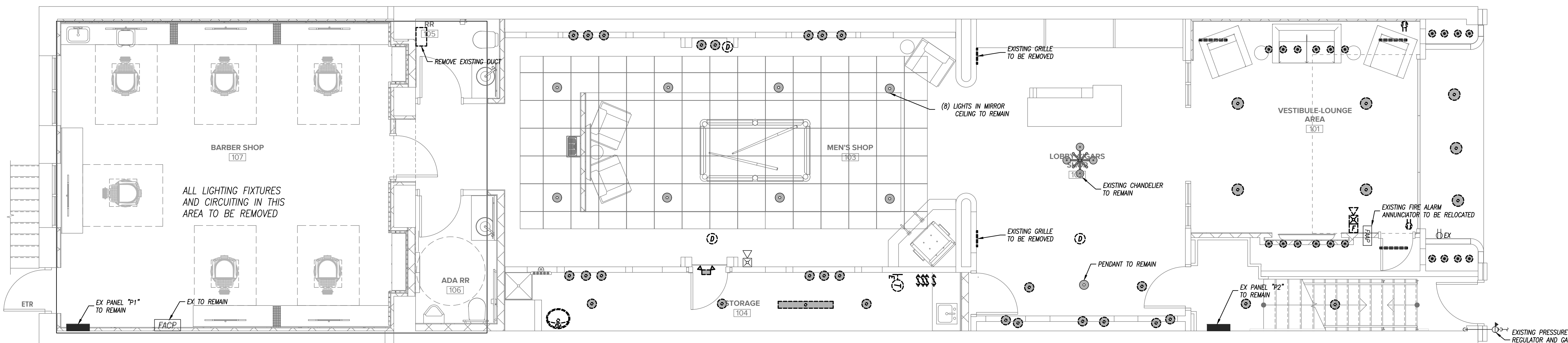
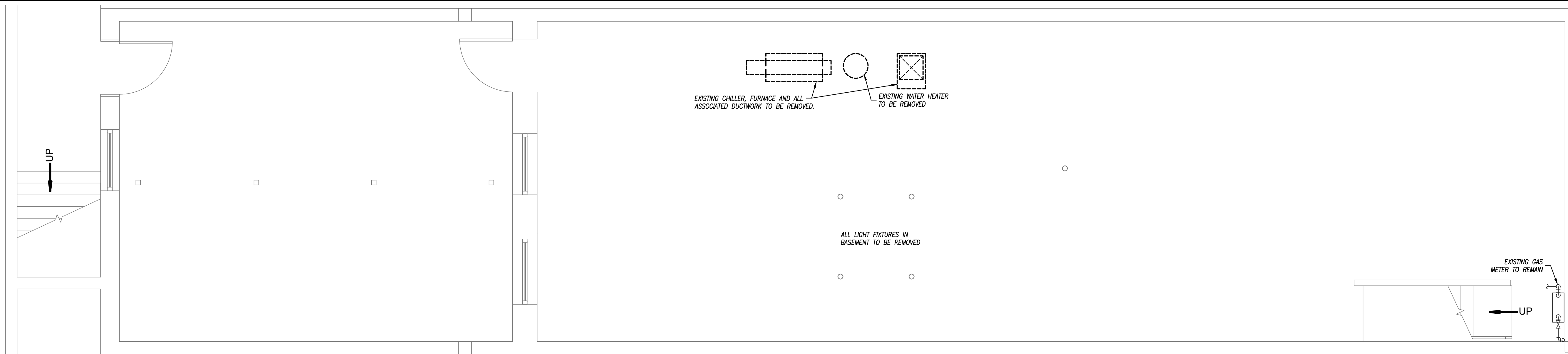
PRELIMINARY FOR CONSTRUCTION. Topeka, KS

Royal Society logo with address: 913 S Kansas Ave

PROJECT NUMBER: 23-031, PROJECT ARCHITECT: SEG, PROJECT MANAGER: JRD, DRAWN BY: LHG, CHECKED BY: SWM, ISSUE DATE: 05/31/23, ISSUE RECORD: Prelim Plan

pkmr ENGINEERS logo with address: PEARSON KENT MCKINLEY RAAF ENGINEERS LLC, 2949 SW HANHAMER DR., TOPEKA, KANSAS 66614, 785.271.2447, WWW.PKMR.COM

MECHANICAL AND ELECTRICAL SPECIFICATIONS SHEET NUMBER ME101



FIRE SEALING NOTES

- COORDINATE CONSTRUCTION OF OPENINGS AND PENETRATING ITEMS TO ENSURE THAT THROUGH-PENETRATION FIRESTOP SYSTEMS ARE INSTALLED ACCORDING TO SPECIFIED AND APPLICABLE UL REQUIREMENTS.
- COORDINATE SIZING OF SLEEVES, OPENINGS, CORE-DRILLED HOLES, OR CUT OPENINGS TO ACCOMMODATE THROUGH-PENETRATION FIRESTOP SYSTEMS.
- DO NOT COVER UP THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLATIONS UNTIL EXAMINED BY INSPECTOR, IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- COMPATIBILITY: PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEMS THAT ARE COMPATIBLE WITH ONE ANOTHER, WITH THE SUBSTRATES FORMING OPENINGS, AND WITH THE ITEMS, IF ANY, PENETRATING THROUGH-PENETRATION FIRESTOP SYSTEMS, UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE.
- PROVIDE COMPONENTS FOR EACH THROUGH-PENETRATION FIRESTOP SYSTEM THAT ARE NEEDED TO INSTALL FILL MATERIALS. USE ONLY COMPONENTS SPECIFIED BY THROUGH-PENETRATION FIRESTOP SYSTEM MANUFACTURER AND APPROVED BY QUALIFIED TESTING AND INSPECTING AGENCY FOR FIRESTOP SYSTEMS INDICATED.
- PROVIDE SLEEVES THROUGH ALL FIRE-RATED WALLS AND FILL VOIDS SURROUNDING SLEEVES AND INTERIOR TO SLEEVES AROUND PIPING WITH FIRE STOP PUTTY WITH U.L. LISTED 3 HOUR RATING INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- FIRE SEAL ALL PIPING, CONDUIT, CABLE, ETC PENETRATIONS ROUTED THROUGH FIRE RATED WALLS.
- PROVIDE FIRE RATED ENCLOSURES OR WRAPS ON LIGHT FIXTURES AND OTHER ITEMS PENETRATING FIRE RATED CEILINGS, FLOOR/CEILING/ CEILING/ROOF ASSEMBLIES TO MAINTAIN UL LISTING FOR CONSTRUCTION.

GENERAL ELECTRICAL NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A.H.J.
- COORDINATE LOCATIONS OF RECEPTACLES, SWITCHES, ETC. WITH ARCHITECTURAL CASEWORK AND ELEVATIONS.
- REFER TO MOUNTING HEIGHTS DETAIL FOR MOUNTING HEIGHTS OF ALL DEVICES NOT INDICATED OTHERWISE.
- PROVIDE ALL EMPTY CONDUITS WITH PULL STRINGS AND BUSHED ENDS.
- CONTRACTOR SHALL CONCEAL ALL CONDUIT, FITTINGS, AND DEVICES FROM VIEW WHERE REASONABLY POSSIBLE.

GEN. MECHANICAL NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL MECHANICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A.H.J.
- ANY POWER FOR CONTROL SYSTEMS TO BE PROVIDED BY E/C IS INDICATED ON ELECTRICAL PLANS. ANY ADDITIONAL LINE VOLTAGE OR LOW VOLTAGE POWER REQUIRED BY THE M/C OR SUBCONTRACTORS TO HAVE A FULLY FUNCTIONING SYSTEM SHALL BE PROVIDED BY THE M/C CONTRACTOR OR SUBS.
- ALL EQUIPMENT SHALL BE ADEQUATELY AND PROPERLY SUPPORTED AND FASTENED FROM STRUCTURE.
- ALL EQUIPMENT AND ACCESSORIES INSTALLED IN CONCEALED SPACES REQUIRING ACCESS SHALL BE PROVIDED WITH ACCESS DOORS MEETING ANY FIRE REQUIREMENTS OF THE WALL/CEILING THEY ARE INSTALLED.
- EACH AIR HANDLING UNIT OVER 2000CFM SHALL BE PROVIDED WITH A SMOKE DETECTOR TO SHUT DOWN THE UNIT PER MC 806 AS REQUIRED BY A.H.J. COORDINATE WITH OTHER TRADES.
- START UP AND ADJUST ALL EQUIPMENT AND VERIFY ALL MECHANICAL SYSTEMS IN OPERATION IN ACCORDANCE WITH THEIR INTENDED PURPOSES. SUBMIT BALANCE AND START UP REPORTS TO THE A/E. REFER TO SPECIFICATIONS FOR ANY ADDITIONAL REQUIREMENTS.

GENERAL PLUMBING NOTES

- COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL PLUMBING CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A.H.J.
- NO PIPING SHALL BE INSTALLED WHERE IT WILL SUBJECT TO FREEZING TEMPERATURES. PIPING IN EXTERIOR WALLS SHALL BE INSTALLED ON THE WARM SIDE OF BUILDING INSULATION, INSULATED AND THE CHASE SHALL BE VENTILATED WITH GRILLES ALLOWING INDOOR AMBIENT CONDITIONS TO CIRCULATE THROUGH THE CHASE.
- PROVIDE CLEANKUTS IN THE FOLLOWING LOCATIONS:
 - IN ALL HORIZONTAL DRAINS (WITHIN THE BUILDING) NOT MORE THAN 100 FEET APART.
 - IN BUILDING SEWERS LOCATED NO MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEANKOUT.
 - EACH CHANGE OF DIRECTION OF THE BUILDING DRAIN OR HORIZONTAL WASTE OR SOIL LINES GREATER THAN 45 DEGREES WHERE MORE THAN ONE CHANGE OF DIRECTION OCCURS IN A RUN OF PIPING, ONLY ONE CLEANKOUT SHALL BE REQUIRED FOR EACH 40 FEET OF DEVELOPED LENGTH OF THE DRAINAGE PIPING.
 - AT THE BASE OF EACH WASTE OR SOIL STACK.
 - NEAR THE JUNCTION OF THE BUILDING DRAIN AND BUILDING SEWER.

COORDINATION NOTES

- COORDINATE REQUIREMENTS FOR INSTALLATION OF SYSTEMS AND EQUIPMENT WITH ALL OTHER TRADES.
- THE CONTRACTOR SHALL COORDINATE THE ROUTING AND PATH OF ALL SYSTEMS, CONDUITS, PIPES, DUCTS, ETC WITH THE POSITION AND LAYOUT OF THE STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY OFFSETS, TURNS, RISES AND DROPS FOR SYSTEMS AND COMPONENTS AS NEEDED TO INSTALL THE MEP SYSTEMS TO CLEAR STRUCTURE, CEILINGS, ETC AND OTHER SYSTEMS IN POTENTIAL CONFLICT WITH ROUTING.
- COORDINATE WORK WITH OTHER TRADES TO INSTALL SYSTEMS ABOVE CEILING HEIGHTS INDICATED ON ARCHITECTURAL PLANS.
- CHECK SPACE REQUIREMENTS WITH OTHER TRADES AND STRUCTURE/CONSTRUCTION TO INSURE THAT ALL MATERIALS AND EQUIPMENT CAN BE INSTALLED IN THE SPACE ALLOTTED INCLUDING FINISHED SUSPENDED CEILINGS AND OTHER SPACES, CHASES, ETC WITHIN THE BUILDING. MAKE MODIFICATIONS THERETO AS REQUIRED AND APPROVED.
- TRANSMIT TO OTHER TRADES ALL INFORMATION REQUIRED FOR WORK TO BE PROVIDED UNDER THEIR RESPECTIVE SECTIONS IN AMPLE TIME FOR INSTALLATION.
- WHEREVER WORK INTERCONNECTS WITH WORK OF OTHER TRADES, COORDINATE WITH THOSE TRADES TO INSURE THAT ALL SUBCONTRACTORS HAVE THE INFORMATION NECESSARY SO THAT THEY MAY PROPERLY INSTALL ALL CONNECTIONS AND EQUIPMENT. IDENTIFY ALL ITEMS OF WORK THAT REQUIRE ACCESS SO THAT THE CEILING TRADE WILL KNOW WHERE TO INSTALL ACCESS DOORS AND PANELS.
- COORDINATE, PROJECT AND SCHEDULE WORK WITH OTHER TRADES IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE.
- DRAWINGS SHOW THE GENERAL RUNS OF CONDUITS, PIPING AND DUCTWORK, AND APPROXIMATE LOCATION OF OUTLETS. ANY SIGNIFICANT CHANGES IN LOCATION OF ITEMS NECESSARY IN ORDER TO MEET FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER AND RECEIVE HIS APPROVAL BEFORE SUCH ALTERATIONS ARE MADE. ALL SUCH MODIFICATIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND REPAIR OF SURFACES, AREAS AND PROPERTY THAT MAY BE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- ADJUST LOCATION OF PIPING, DUCTWORK, ETC. TO PREVENT INTERFERENCES, BOTH ANTICIPATED AND ENCOUNTERED. DETERMINE THE EXACT ROUTE AND LOCATION OF EACH ITEM PRIOR TO FABRICATION. MAKE OFFSETS, TRANSITIONS AND CHANGES IN DIRECTION IN SYSTEMS AS REQUIRED TO MAINTAIN ADEQUATE CLEARANCES AND HEADROOM.
- WHEREVER THE WORK IS OF SUFFICIENT COMPLEXITY, PREPARE ADDITIONAL COORDINATION DRAWINGS AND ORGANIZE ON-SITE MEETINGS WITH ALL RELATED SUBCONTRACTORS TO COORDINATE THE WORK BETWEEN TRADES. DRAWINGS SHALL CLEARLY SHOW THE WORK AND ITS RELATION TO THE WORK OF OTHER TRADES, AND BE SUBMITTED FOR REVIEW PRIOR TO COMMENCING SHOP FABRICATION OR ERECTION IN THE FIELD.
- COORDINATE WITH LOCAL UTILITY PROVIDERS FOR THEIR REQUIREMENTS FOR SERVICE CONNECTIONS AND PROVIDE ALL NECESSARY PAYMENTS, MATERIALS, LABOR AND TESTING TO ACCOMPLISH THE WORK.

GENERAL NOTES

- SOME ROOM NAMES MAY NOT BE SHOWN FOR PURPOSE OF CLARIFYING PLAN. REFER TO ARCHITECTURAL PLANS FOR REFERENCE TO ROOM NAMES NOT SHOWN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND KEEP AT THE JOB SITE, AN UP TO DATE SET OF "RECORD DRAWINGS" SHOWING ALL CHANGES FROM THE ORIGINAL PLANS. THE CONTRACTOR SHALL DELIVER THE RECORD DRAWINGS TO THE ENGINEER AT THE CONCLUSION OF THE PROJECT ELECTRONICALLY.
- THESE DRAWINGS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS (NEW AND EXISTING), DIMENSIONS, AND CLEARANCES PRIOR TO THE COMMENCEMENT OF WORK AND SHALL INCLUDE ALL COSTS, EQUIPMENT, MATERIAL, ACCESSORIES, ETC. REQUIRED FOR A FULLY COMPLETE, FUNCTIONAL AND CODE COMPLIANT INSTALLATION.
- FINAL LOCATIONS OF ALL DEVICES, LIGHT FIXTURES, EQUIPMENT ETC SHALL BE INDICATED ON THE ARCHITECTURAL DRAWINGS. ALL DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM ARCHITECTURAL PLANS. NO DIMENSIONAL INFORMATION SHALL BE OBTAINED FROM MEP DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, APPROVALS, LICENSES, ETC. AS NEEDED FOR THE COMPLETE INSTALLATION AND PROJECT. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ALL FEES AND DATA NEEDED FOR THIS.

GEN. RENOVATION NOTES

- DISCONNECT AND REMOVE ANY EQUIPMENT, PIPING OR DUCTWORK THAT WAS INSTALLED AS PART OF THE BUILDING SHELL THAT IS NOT NEEDED OR CONFLICTS WITH THIS BUILD OUT.
- EXISTING UNDERGROUND PIPING LOCATIONS ARE ESTIMATED BASED UPON ANTICIPATED ROUTINGS. FIELD VERIFY EXACT LOCATIONS DURING CONSTRUCTION AND PROVIDE ALL NECESSARY MODIFICATIONS.
- SAWCUT GRADE FLOOR SLABS TO INSTALL NEW PIPING, MECHANICAL SYSTEMS, ELECTRICAL FLOOR BOXES AND ALL ASSOCIATED CONDUIT, ETC. PATCH FLOOR TO MAKE LIKE NEW AFTER INSTALLATION. TAKE CARE TO LOCATE EXISTING CONDUIT, ETC. AND AVOID CUTTING EXISTING CONDUITS BY NOT OVERCUTTING SLAB DEPTH.
- SAWCUT AND CORE DRILL OPENINGS AS REQUIRED FOR ABOVE GRADE SLAB PENETRATIONS. XRAY SLABS TO ASCERTAIN STEEL AND EXISTING CONDUIT PENETRATIONS PRIOR TO CUTTING. VERIFY OPENINGS WITH STRUCTURAL ENGINEER PRIOR TO CUTTING.
- HOMERUN CIRCUITS TO 20 AMP, SINGLE POLE BREAKERS IN PANELBOARDS INDICATED. UTILIZE SPARE BREAKERS MADE AVAILABLE BY DEMOLITION, IF NO SPARE BREAKER IS AVAILABLE, PROVIDE NEW BREAKER.
- EXISTING CIRCUITING MAY BE RE-USED WHERE POSSIBLE.
- CONCEAL NEW CIRCUITING IN WALLS WHERE POSSIBLE. FOR NEW DEVICES INSTALLED ON EXISTING SOLID WALLS, CONCEAL CIRCUITING IN WIREMOLD. COORDINATE FINISH AND GENERAL ROUTING OF WIREMOLD WITH ARCHITECT TO BE AS CONCEALED AND/OR ROUTED IN A NEAT AND ORGANIZED CONSISTENT MANNER.

DEMO NOTES:

- ALL EQUIPMENT SERVING APARTMENTS TO REMAIN.
- REMOVE ALL PIPING, WIRING, AND CONDUIT THAT BECOMES UNNECESSARY AS A RESULT OF THIS WORK. PROVIDE FOR CONTINUITY OF ALL REMAINING SYSTEMS AND CIRCUITS. ALL WORK SHOWN DASHED IS TO BE DEMOLISHED. MAINTAIN ALL EXISTING DEVICES, EQUIPMENT, ASSOCIATED CIRCUITS, ETC. SHOWN AS EXISTING TO REMAIN OR OTHERWISE UNRELATED TO THE SCOPE OF THE PROJECT IN WORKING ORDER.
- COORDINATE ALL DEMOLITION WORK WITH OWNER. THE OWNER RESERVES THE RIGHT OF FIRST REFUSAL FOR ALL ITEMS SCHEDULED TO BE REMOVED. ALL ITEMS NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE OWNER'S PROPERTY AND LEGALLY DISCARDED.
- CUT AND PATCH THE EXISTING WALLS, FLOORS, AND CEILINGS TO MATCH THE EXISTING SURFACES AS REQUIRED FOR NEW WORK.
- COORDINATE ALL POWER OUTAGES FOR PART OR ALL OF THIS BUILDING WITH THE OWNER. POWER OUTAGES SHALL BE KEPT TO A MINIMUM AND TAKE PLACE AT A TIME APPROVED BY THE OWNER. ALL ELECTRICAL DEMOLITION WORK IS NOT SHOWN. CONTRACTOR SHALL DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES, EQUIPMENT, ETC. AND ALL ASSOCIATED CONDUIT AND WIRING NOT REQUIRED TO REMAIN.
- NOTES AND DRAWINGS ARE BASED UPON A FIELD EXAMINATION OF THE SITE AND MAY NOT INDICATE ALL ITEMS. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE AND THE SCOPE OF WORK FOR THE CONTRACT PRIOR TO BID. ANY EXISTING CONDITION WHICH IS APPARENT OR COULD BE REASONABLY INFERRED FROM A VISIT TO THE SITE SHALL NOT BE THE BASIS FOR A CHANGE IN THE CONTRACT AMOUNT.
- REMOVE ALL MISCELLANEOUS CONDUITS, PIPES, ETC. THOUGH NOT SPECIFICALLY SHOWN ON PLAN, THAT ARE EITHER UNUSED OR WILL BECOME UNUSED DUE DEMOLITION ACTIVITIES, IN ORDER TO PROVIDE A "CLEAN" SPACE FOR THE OWNER.
- PROTECT ALL EXISTING SURFACES AND EQUIPMENT DURING CONSTRUCTION. EXISTING ITEMS TO REMAIN SHALL BE ADEQUATELY PROTECTED FROM DEMOLITION AND NEW CONSTRUCTION WORK, AS REQUIRED. ANY ITEMS DAMAGED OR MARRED SHALL BE ADEQUATELY CLEANED OR REPLACED TO THE OWNERS SATISFACTION TO ORIGINAL CONDITION BEFORE CONSTRUCTION.
- PATCH ANY HOLES IN WALLS, FLOORS, OR STRUCTURE CREATED BY REMOVAL OF DUCTWORK, PIPES, ETC.

FLOOR PLAN - DEMO

SCALE: 1/4" = 1'-0"

PROJECT NUMBER:	23-031
PROJECT ARCHITECT:	SEG
PROJECT MANAGER:	JRD
DRAWN BY:	LHG
CHECKED BY:	SWM
ISSUE DATE:	05/31/23
ISSUE RECORD:	Prelim Plan

REVISIONS

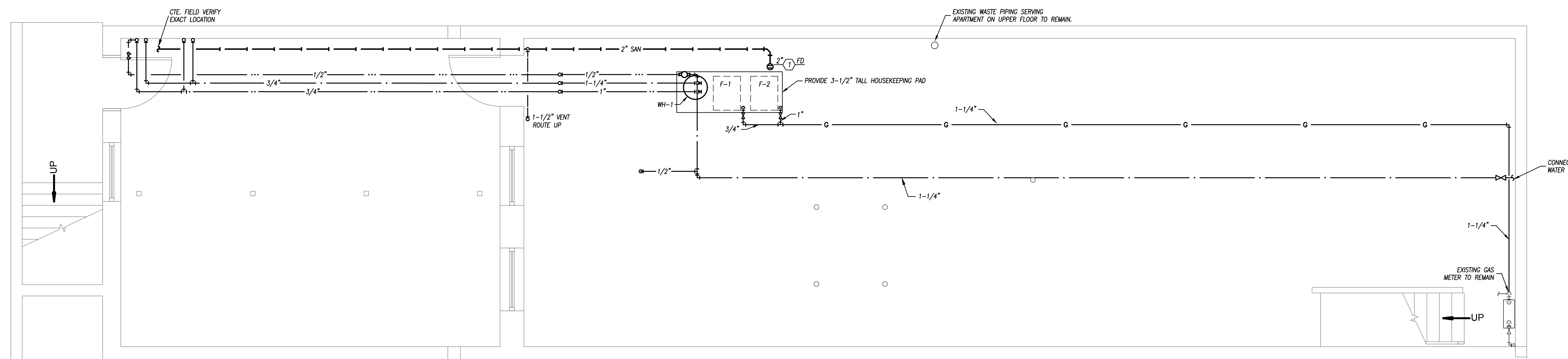
SHEET TITLE	DEMO FLOOR PLAN AND NOTES
CODE NAME	
SHEET NUMBER	ME201

pkmr
ENGINEERS

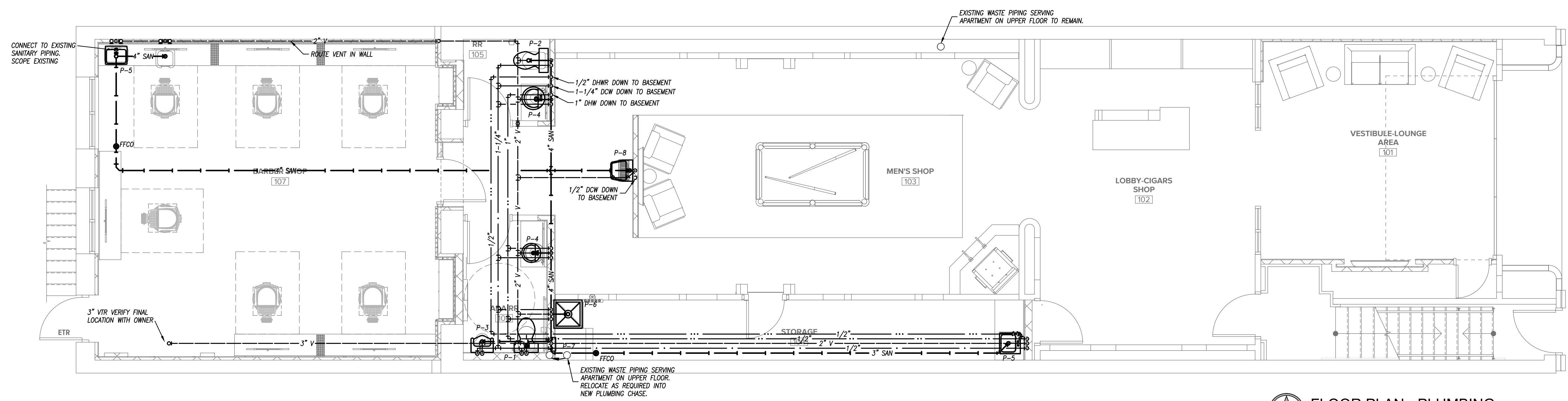
PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
2949 SW HANNAH DR., TOPEKA, KANSAS 66614
785.273.2447 WWW.PKMRNG.COM

PRELIMINARY
NOT FOR CONSTRUCTION

Topeka, KS



BASEMENT FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"



FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

Royal Society

913 S Kansas Ave

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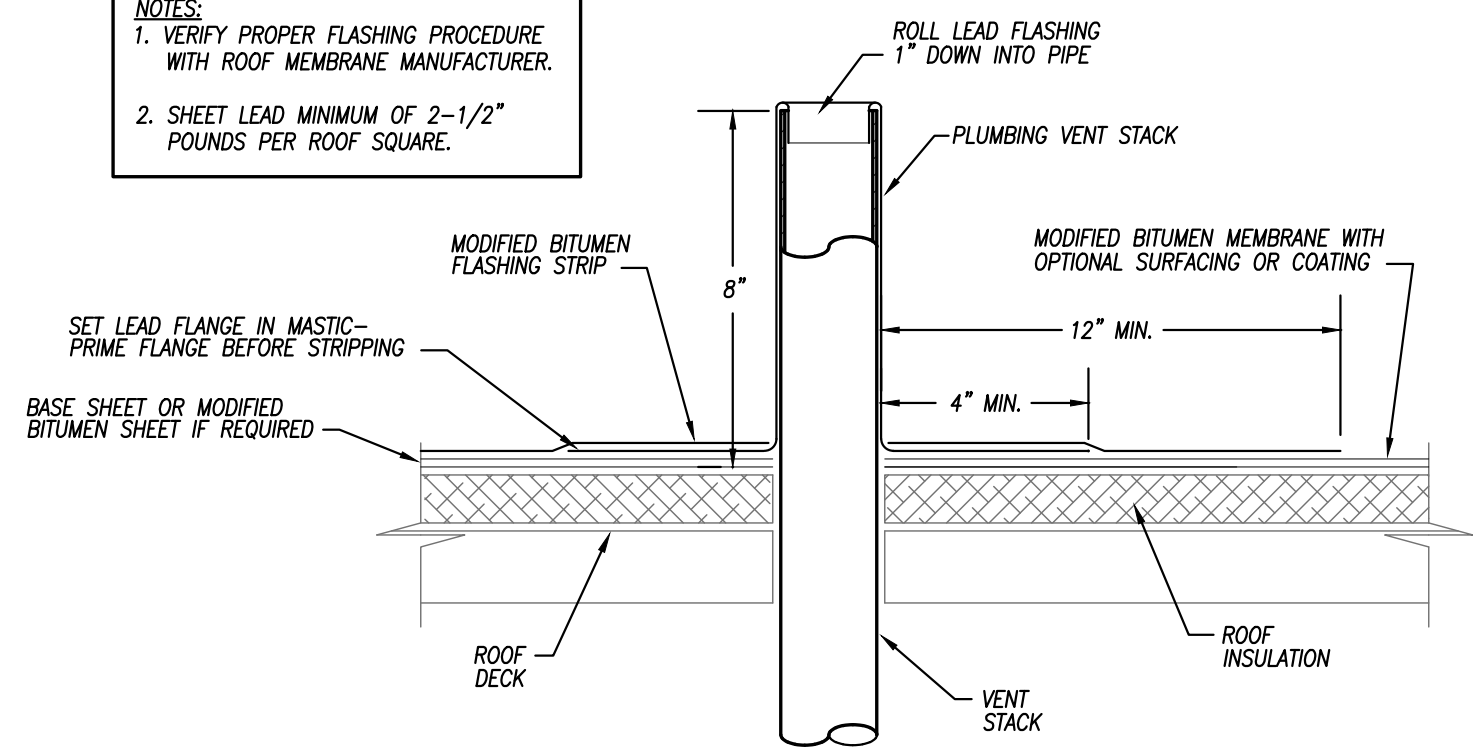
PLUMBING
FLOOR PLAN

CODE NAME
SHEET NUMBER

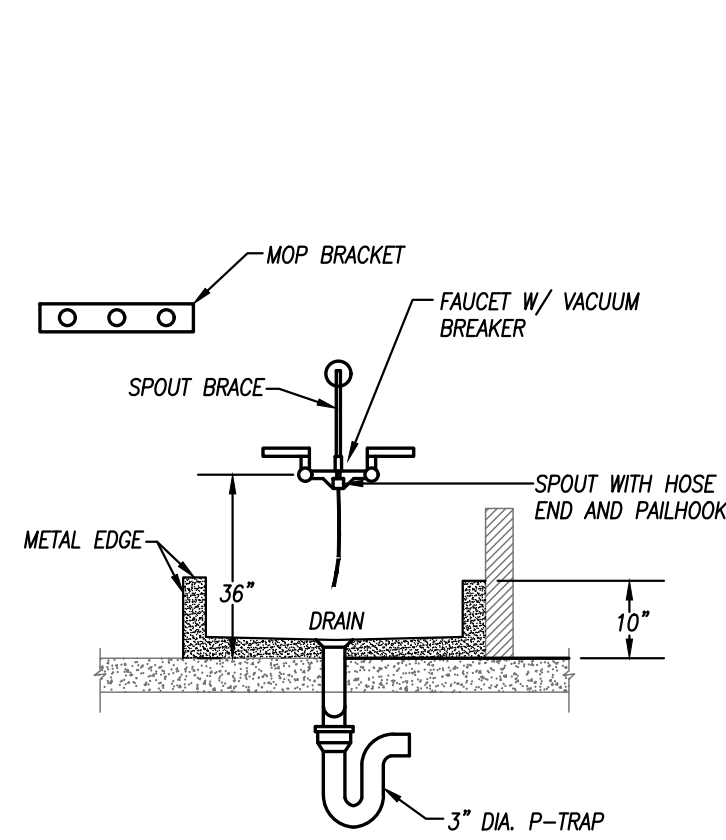
P101



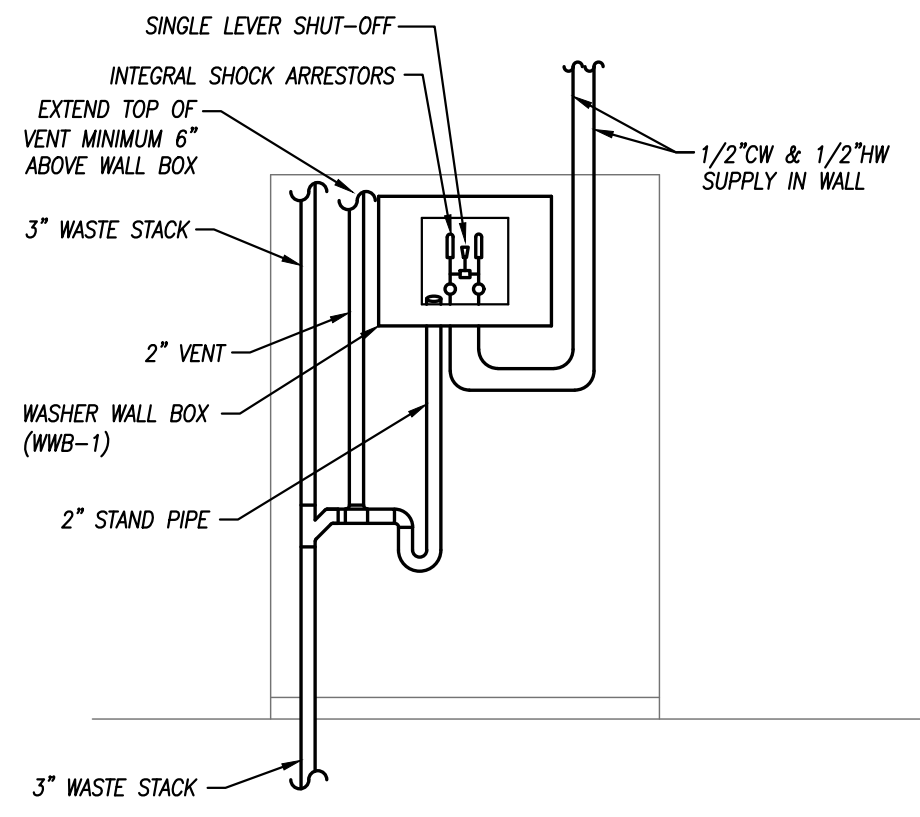
NOTES:
1. VERIFY PROPER FLASHING PROCEDURE WITH ROOF MEMBRANE MANUFACTURER.
2. SHEET LEAD MINIMUM OF 2-1/2" POUNDS PER ROOF SQUARE.



VENT STACK
NOT TO SCALE 504-01



MOP SINK DETAIL
NOT TO SCALE 521-06



WASHER WALL BOX PIPING DETAIL
NOT TO SCALE 521-05

PLUMBING FIXTURE SCHEDULE

PLAN MARK	FIXTURE MODEL	FIXTURE DESCRIPTION	FITTINGS MODEL	FITTINGS DESCRIPTION	PIPE SIZES			
					WASTE	VENT	DCW	DHW
P-1	TOTO DRAKE CST744SL	ADA COMPLIANT WATER CLOSET: FLUSH TANK, WHITE ELONGATED BOWL, 1.6 GALLON SIPHON JET FLUSHING SYSTEM, 2-1/8" TRAP DIAMETER, WITH POLISHED CHROME FLUSH HANDLE MOUNTED ON WIDE SIDE OF RESTROOM STALL, WITH HANDLE STOP VALVE AND METAL FLEXIBLE WATER RISER	TOTO SCS34	SEAT: WHITE, SOLID PLASTIC, OPEN FRONT, ELONGATED	4"	2"	1/2"	---
P-2	TOTO DRAKE CST744SG	WATER CLOSET: FLUSH TANK, WHITE ELONGATED BOWL, 1.6 GALLON SIPHON JET FLUSHING SYSTEM, 2-1/8" TRAP DIAMETER, WITH POLISHED CHROME FLUSH HANDLE, HANDLE STOP VALVE AND METAL FLEXIBLE WATER RISER	TOTO SCS34	SEAT: WHITE, SOLID PLASTIC, OPEN FRONT, ELONGATED	4"	2"	1/2"	---
P-3	AMERICAN STANDARD 6590.001	ADA COMPLIANT URINAL: WHITE WALL HUNG URINAL 0.5 GALLON SIPHON JET FLUSHING ACTION, MOUNT FIXTURE RIM AT 17" ABOVE FLOOR WITH FLOOR MOUNTED, HEAVY DUTY TUBULAR STEEL SUPPORT CARRIER	SLOAN 186-0.5	EXPOSED URINAL FLUSH VALVE: CHROME PLATED 0.5 GALLON FLUSH, WITH WALL AND SPUD FLANGES, MOUNT HANDLE AT 43" ABOVE FLOOR ON WIDE SIDE OF RESTROOM STALL	2"	2"	1"	---
P-4	LARGE LISMAN	ADA COMPLIANT LAVATORY: OVAL CAST CONCRETE VESSEL SINK-DUSK GREY, PROVIDE HANDLE STOP VALVES AND FLEXIBLE METAL WATER RISERS, MOUNT TOP OF RIM AT 34" ABOVE FLOOR	KOHLER K-73168-4 WATTS LFMMV-M1	FAUCET: SINGLE LEVER HANDLE, 1/2" CONNECTIONS, 1.2 GPM MAX FLOWRATE, BRASS GRID DRAIN, TAILPIECE, AND P-TRAP INSULATE THE TAILPIECE, P-TRAP, AND WATER RISERS. VERIFY COLOR WITH ARCHITECT. THERMOSTATIC MIXING VALVE: BRONZE BODY THERMOSTATIC MIXING VALVE WITH 1/2" CONNECTIONS, FILTER WASHERS, CHECK VALVES AND LOCKABLE ADJUSTMENT CAP. MOUNT IN AN ACCESSIBLE LOCATION BELOW LAVATORY.	2"	2"	1/2"	1/2"
P-5	ELKAY LR-1722	SINGLE COMPARTMENT SINK: SEAMLESS 18 GAUGE, TYPE 302 STAINLESS STEEL, SATIN FINISH WITH FULL UNDERCOAT, HOLES 4" ON CENTERS, 7 1/2" BOWL DEPTH, SELF RIMMING, PROVIDE HANDLE STOP VALVES AND FLEXIBLE METAL WATER RISERS	AMERICAN STANDARD 7500.140	CENTERSET GOOSENECK FAUCET WITH METAL LEVER HANDLES, 1/2" CONNECTIONS, POLISHED CHROME FINISH WITH BASKET STRAINER AND DRAIN, CHROME PLATED BRASS TAILPIECE AND P-TRAP, INSULATE THE TAILPIECE, P-TRAP, AND WATER RISERS	2"	2"	1/2"	1/2"
P-6	FIAT MSB-2424	JANITORS SINK: WHITE 24"X24"X10" ONE PIECE MOLDED STONE MOP BASIN, WITH STAINLESS STEEL DRAIN BODY WITH 3" WASTE WITH STAINLESS STEEL WALL GUARDS	FIAT 830-AA	CHROME PLATED BRASS WALL MOUNTED FAUCET WITH VACUUM BREAKER, INTEGRAL STOP, ADJUSTABLE WALL BRACE, PAUL HOOK, 3/4" HOSE THREAD SPOUT, INDEXED HANDLES, WITH 5 FOOT HOSE AND BRACKET, MOP HANGER AND HOSE RACK PLUMBING CONTRACTOR SHALL INSTALL A SEPARATE 1/2" DOMESTIC COLD WATER STUB OUT AT THE MOP SINK AT 54" ABOVE FLOOR FOR A POSSIBLE FUTURE SOAP DISPENSER	3"	2"	1/2"	1/2"
P-7	GUY GRAY B200	WASHING MACHINE SUPPLY AND DRAIN BACK BOX: PROVIDE WITH VALVES AND DRAIN FITTINGS.			2"	2"	1/2"	1/2"
P-8	HALSEY-TAYLOR HACBFSQ	ADA COMPLIANT ELECTRIC WATER COOLER: 8 GPH OF 50 DEGREE WATER WITH FRONT AND SIDE PUSHBARS, MOUNT WITH 27" OF KNEE CLEARANCE, MOUNT ON CONCEALED ARM CARRIER			2"	2"	1/2"	---

PLUMBING PUMP SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	GPM	HEAD FT. W.C.	ELECTRICAL CHARACTERISTICS	MAX. RPM	NOTES
DHW RETURN	BELL & GOSSETT	PL-30B	7	20	1/12 HP, 120V, 1#	2650	1

NOTES LEGEND
1 - ALL BRONZE CONSTRUCTION.

WATER HEATER SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	GALLONS	CAPACITY	ELECTRICAL	NOTES
WATER HEATER-1	STATE	ES6 40 DDC2	40	(2) 4.5 KW NON-SIMULTANEOUS	208V, 1PH, 30AMP	1

NOTES LEGEND
1 - PROVIDE BASIN PAN WITH DRAIN.

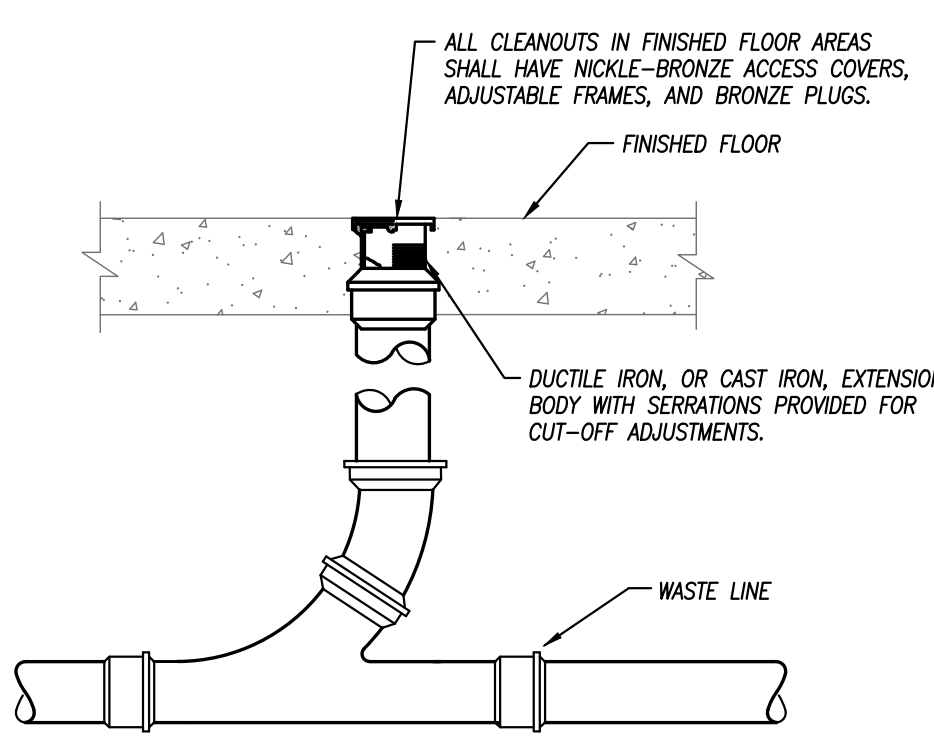
FLOOR / ROOF DRAIN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	SERVICE	TOPIGRATE SIZE	WASTE SIZE	REMARKS
FD-1	WADE	1100	FLOOR DRAIN	6"Ø	2"	---

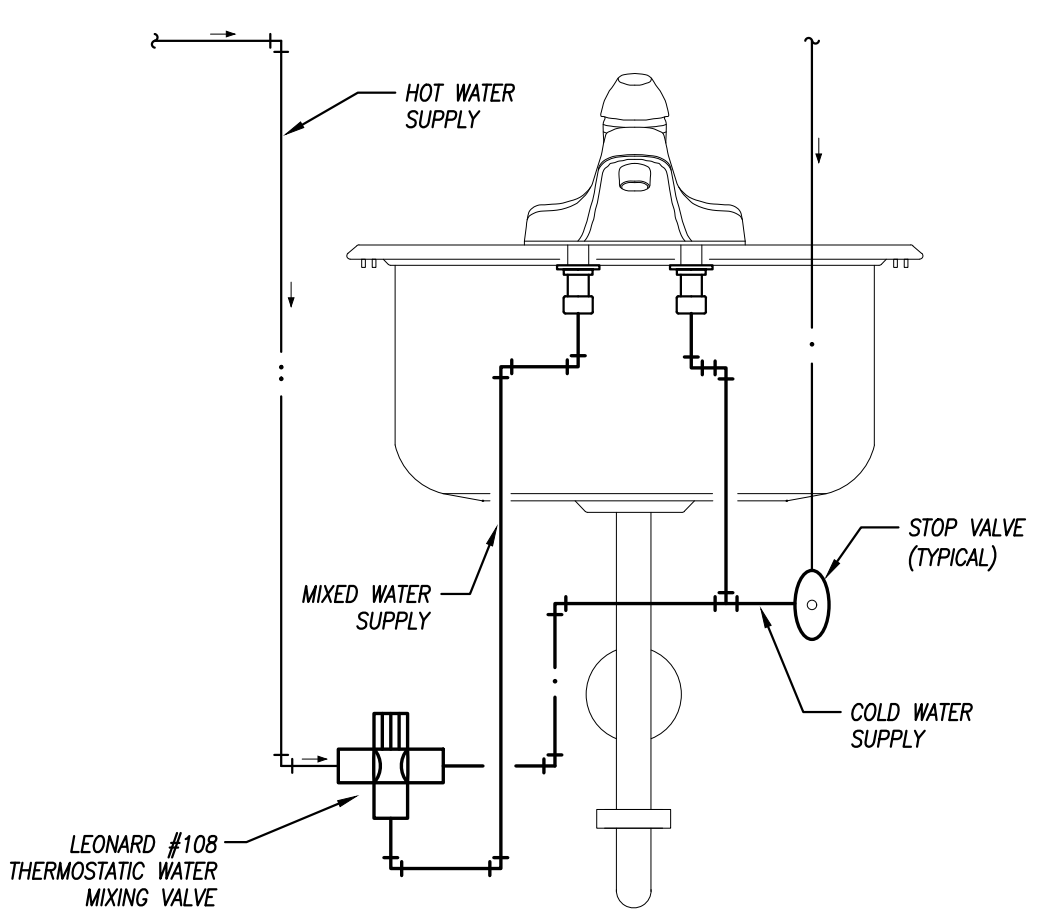
PIPING MATERIAL & INSULATION SCHEDULE

PIPING SYSTEM	SIZE	TYPE/SCHED	MATERIAL	ACCEPTABLE FITTINGS	FIELD TEST PRESSURE/TIME	ALLOWABLE IN PLENUMS	INSULATION	
							TYPE	THICKNESS
DOMESTIC COLD WATER	1/2"-2-1/2"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2"
DOMESTIC HOT WATER & HW RETURN	1/2"-2-1/2"	L	COPPER	SOLDER, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1"
DOM. HOT & COLD BELOW GRADE	1/2"-1-1/4"	K	COPPER	CONTINUOUS TUBING, BRAZED	130 PSI - 1/2HR	YES	ELASTOMERIC	3/4" (HOT ONLY)
DOMESTIC COLD WATER	3"-6"	L	COPPER	BRAZED, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2"
DOMESTIC HOT WATER	3"-6"	L	COPPER	BRAZED, PRO-PRESS	130 PSI - 1/2HR	YES	FIBERGLASS W/ ASJ	1-1/2"
NATURAL GAS - ABOVE GRADE	2-1/2" & Up	SCH. 40	STEEL- SEEMLESS	WELDED	75 PSI - 1HR	YES	----	----
NATURAL GAS - ABOVE GRADE	1/2"-2"	SCH. 40	STEEL- SEEMLESS	THREADED IRON	75 PSI - 1HR	YES	----	----
NATURAL GAS BELOW GRADE	ALL	SDR-11	POLYETHYLENE	FUSION JOINTS	100 PSI - 1HR	NO	----	----
SOIL & WASTE ABOVE GRADE	1-1/2"-6"	NO HUB / SERVICE WT.	CAST IRON	NO HUB	10 FT - 1/2HR	YES	----	----
SOIL & WASTE ABOVE GRADE	2"-8"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	----	----
SOIL & WASTE BELOW GRADE	2"-8"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	----	----
DRINKING FOUNT. DRAIN	ALL	----	----	----	----	YES	ELASTOMERIC	1/2"
CONDENSATE DRAIN ON ROOF	3/4"-2"	SCH. 40	PVC	SOLVENT JOINED	10 FT - 1/2HR	NO	----	----
CONDENSATE DRAIN INTERIOR	1/2"-2"	L	COPPER	SOLDER, PRO-PRESS	10 FT - 1/2HR	YES	FIBERGLASS W/ ASJ	1/2" (PLENUM ONLY)
DOM. WATER SERVICE BELOW GRADE	4"-8"	AWWA C151	DUCTILE IRON	AWWA C111, MECH JOINTS	130 PSI - 1/2HR	YES	----	----
DOM. WATER SERVICE BELOW GRADE	1"-3"	K	COPPER	CONTINUOUS TUBING, BRAZED	130 PSI - 1/2HR	YES	----	----
DOM. WATER SERVICE BELOW GRADE	1"-3"	DR 9	HDPE	CONTINUOUS TUBING, FUSED	130 PSI - 1/2HR	NO	----	----

NOTES
1. ALL PIPING AND MATERIALS IN PLENUMS MUST MEET ASTM E84 FLAME/SMOKE RATING OF 25/50.
2. ALL INSULATION THICKNESSES SHALL MEET ASHRAE 90.1 - 2007 REQUIREMENTS AT A MINIMUM.
3. REFER TO SPECIFICATIONS FOR MORE DETAILED INFORMATION.



FLOOR CLEANOUT DETAIL
NOT TO SCALE 526-01



HAND WASHING SINK/LAVATORY TEMPERED WATER SCHEMATIC
NOT TO SCALE 521-01

PRELIMINARY
NOT FOR CONSTRUCTION

Topeka, KS

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REVISIONS

SHEET TITLE

PLUMBING DETAILS & SCHEDULES

CODE NAME

SHEET NUMBER

PRELIMINARY
NOT FOR CONSTRUCTION

Topeka, KS

Royal Society

913 S Kansas Ave

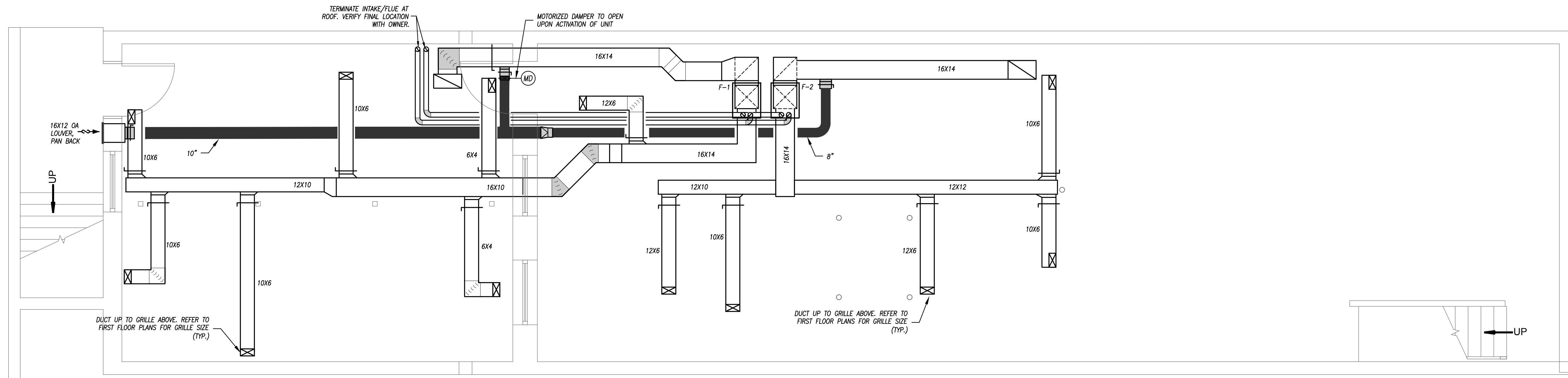
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ISSUE RECORD:	Prelim Plan

REVISIONS

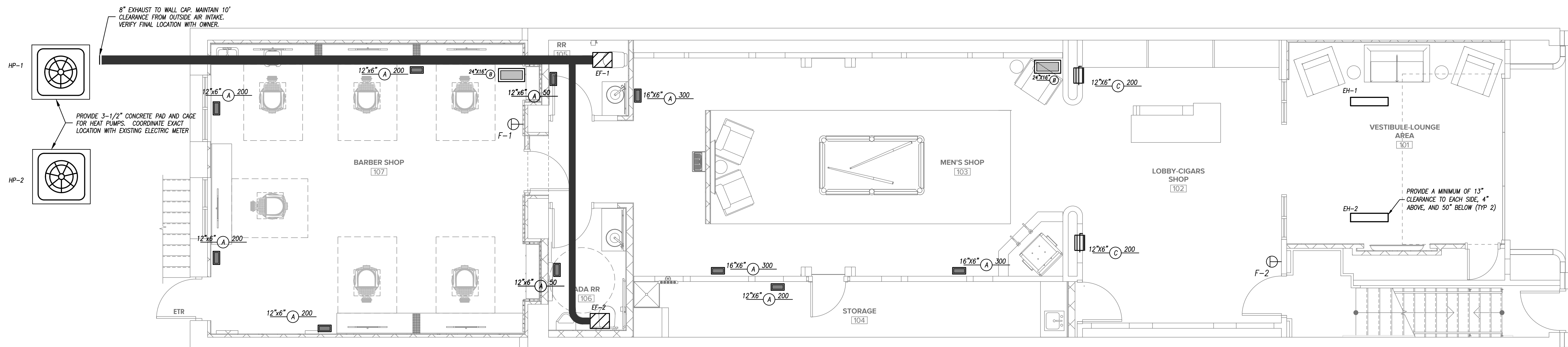
SHEET TITLE
HVAC FLOOR PLAN

CODE NAME
SHEET NUMBER

M101



BASEMENT FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"



FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

FURNACE SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	CABINET WIDTH	TOTAL CFM	OUTDOOR AIR CFM	STATIC PRESSURE	MOTOR HP/HP EFF	HEAT INPUT BTUH	HEAT OUTPUT BTUH	FLUE OUTLET	COMBUSTION AIR INLET	EVAPORATOR MODEL	COOLING CAPACITY	ENTERING AIR DRY/WET	LEAVING AIR DRY/WET	ELECTRICAL	FILTER	NOTES
F-1	DAIKIN	DM96VC0603BN	17.5	1200	120	0.5"	1/2 HP/ECM	60	57.6	2"	2"	CAPEA30	3 TON	78/65	57/55	120 V, 1 PH.	MERV 13	1
F-2	DAIKIN	DM96VC0603BN	17.5	1200	120	0.5"	1/2 HP/ECM	60	57.6	2"	2"	CAPEA30	3 TON	78/65	57/55	120 V, 1 PH.	MERV 13	1

NOTES LEGEND
1. PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT

HEAT PUMP SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	NOMINAL SIZE	TOTAL MBH COOLING	TOTAL MBH HEATING	AMBIENT	SUCTION	LIQUID	COMPRESSORS	ELECTRICAL	MOCAP AMPS	MIN CIRCUIT AMPS	DISCONNECT	NOTES
HP-1	DAIKIN	DZ17VSA361AA	3 TONS	34.2	34.2	100	7/8"	3/8"	1	208/240V, 1PH.	25	22.7	YES	1,2,3
HP-2	DAIKIN	DZ17VSA361AA	3 TONS	34.2	34.2	100	7/8"	3/8"	1	208/240V, 1PH.	25	22.7	YES	1,2,3

NOTES LEGEND
1. PROVIDE TXV VALVE, SERVICE VALVES, AND REFRIGERANT ACCUMULATOR AT SUCTION LINE
2. PROVIDE COIL HAIL GUARDS
3. VERIFY EXACT REFRIGERANT LINE SIZES WITH MANUFACTURER

EXHAUST FAN SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	MOUNTING	SERVICE	CFM	STATIC PRESSURE	ELECTRICAL	DRIVE	DISCONNECT	DAMPER	NOTES
EF-1,2	GREENHECK	SP-890	CEILING	EXHAUST	75	1/4"	50 WATTS, 120V, 1 PH.	DIRECT	YES	BACKDRAFT	1

1. PROVIDE 12" ROOF CURB WITH CURB CAP MODEL RCC-7 WITH INTEGRAL BIRDSCREEN.

GRILLE, REGISTER & DIFFUSER SCHEDULE

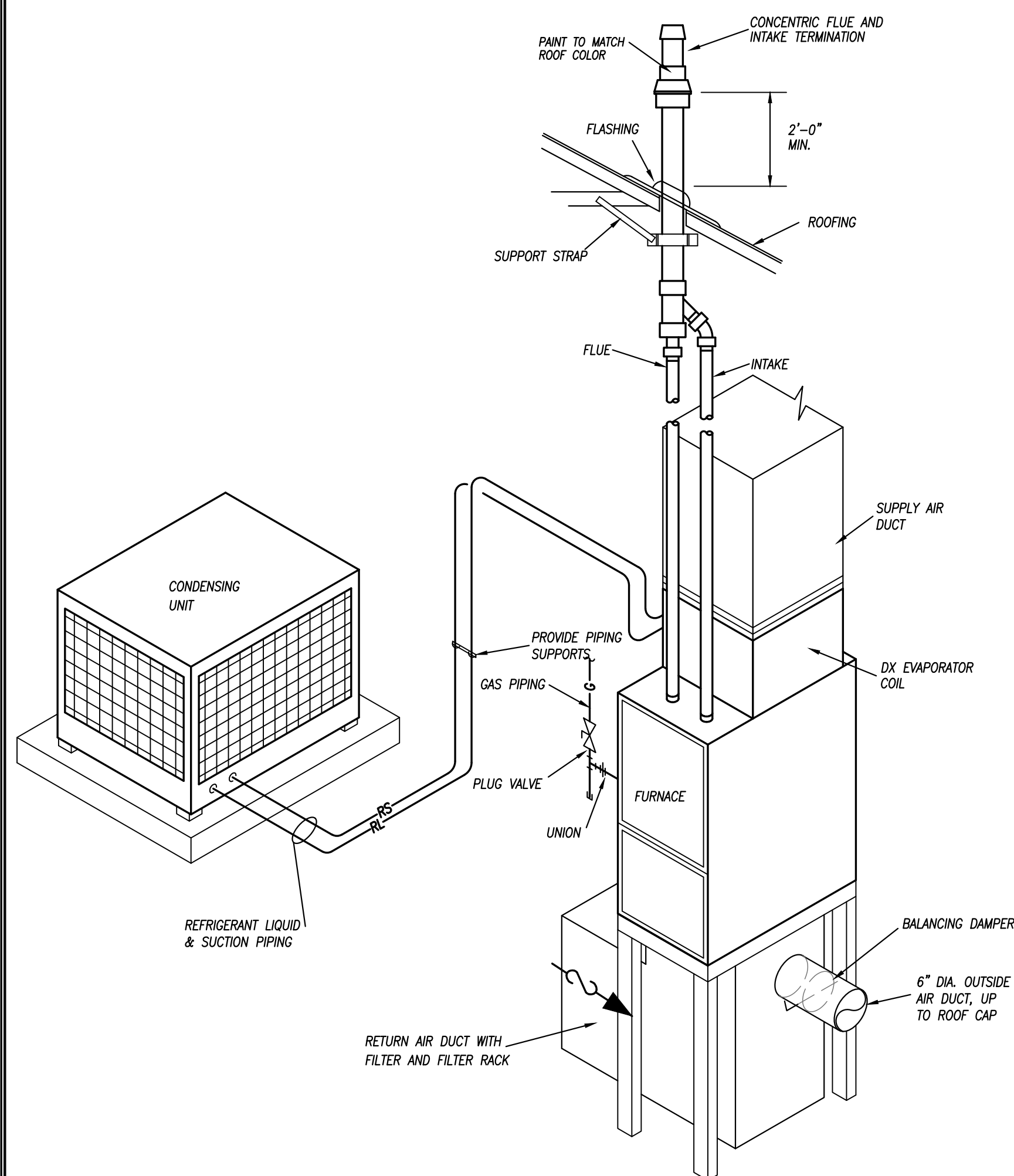
PLAN MARK	MANUFACTURER	MODEL NUMBER	SERVICE	MOUNT TYPE	VOLUME DAMPER	MATERIAL	MATERIAL COLOR	NOTES
A	TITUS	CT-PP-35	SUPPLY	FLOOR	NO	STEEL	GALVANIZED	1
B	TITUS	33RL	RETURN	FLOOR	NO	STEEL	GALVANIZED	1
C	TITUS	301RL	SUPPLY	FLANGE	YES	STEEL	WHITE	1

NOTES LEGEND
1. COORDINATE FINISH WITH ARCHITECT.

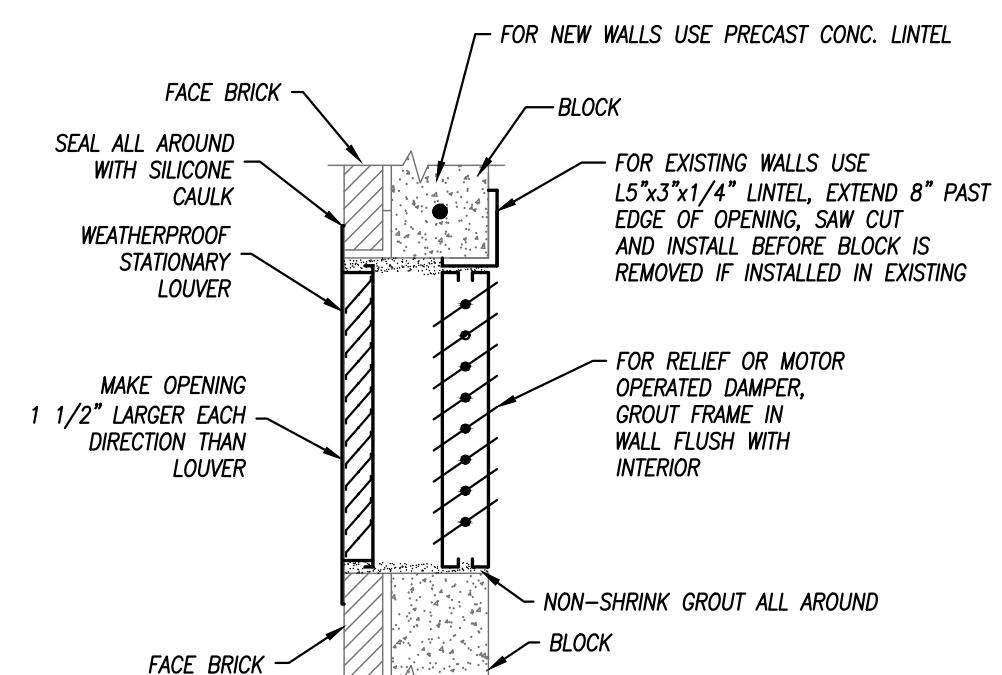
ELECTRIC UNIT HEATER SCHEDULE

PLAN MARK	MANUFACTURER	MODEL NUMBER	CAPACITY (WATTS)	ELECTRICAL	NOTES
EH-1,2	RE-VERBER-RAY	DSS-35B1-A15	1500 WATTS	120V, 1Φ, 12.5 AMPS	1

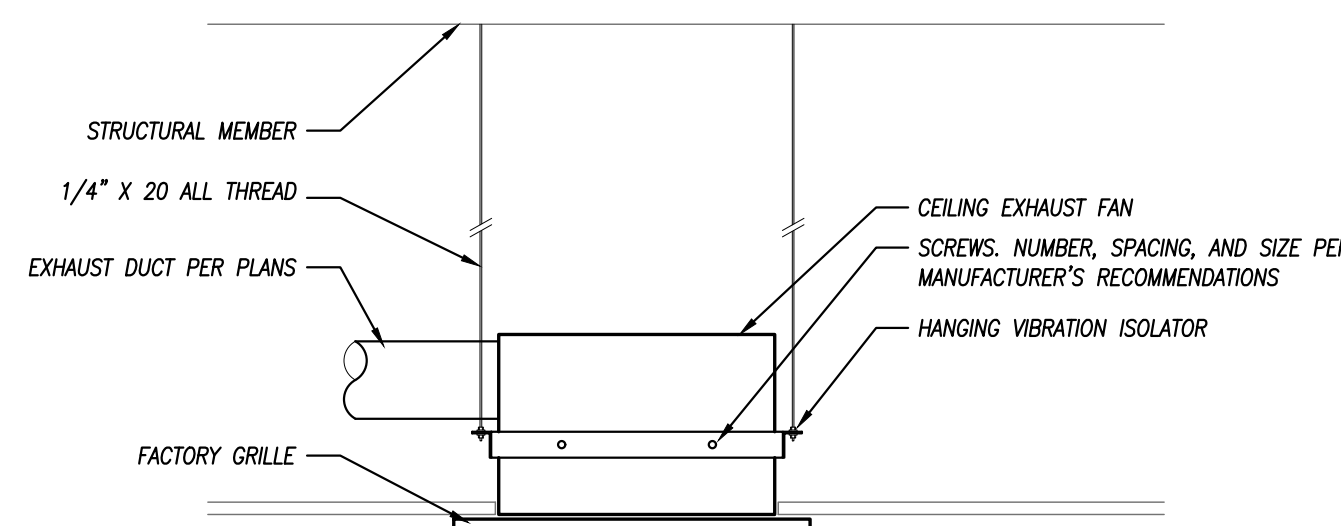
NOTES LEGEND
1. PROVIDE CEILING MOUNTED HEATER WITH TIMER AND REMOTE.



FURNACE AND CONDENSING UNIT DETAIL
NO SCALE



TYPICAL LOUVER DETAIL
NOT TO SCALE



CABINET EXHAUST FAN MOUNTING DETAIL
NOT TO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION

Topeka, KS

Royal Society

913 S Kansas Ave

PROJECT NUMBER:	23-031
PROJECT ARCHITECT:	SEG
PROJECT MANAGER:	JRD
DRAWN BY:	LHG
CHECKED BY:	SWM
ISSUE DATE:	05/31/23
ISSUE RECORD:	Prelim Plan

REVISIONS

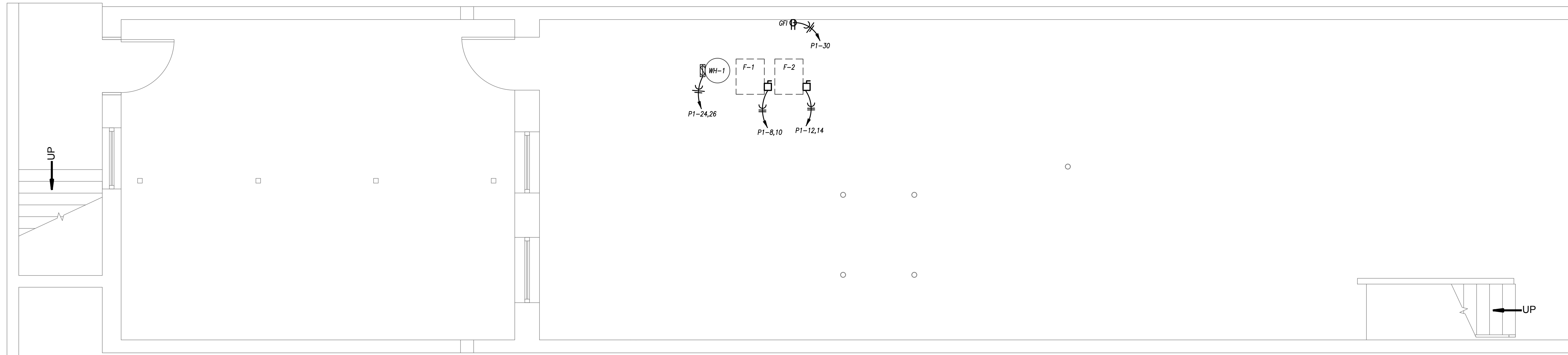
SHEET TITLE

HVAC SCHEDULES & DETAILS

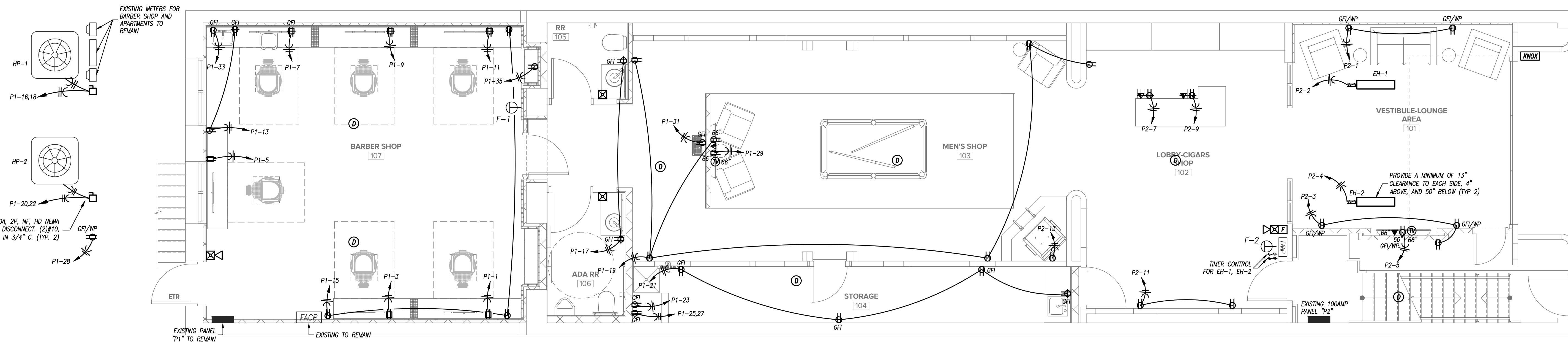
CODE NAME

SHEET NUMBER

M201



BASEMENT FLOOR PLAN - POWER
SCALE: 1/4" = 1'-0"



FLOOR PLAN - POWER
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

Topeka, KS

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REVISIONS

SHEET TITLE

POWER FLOOR PLAN

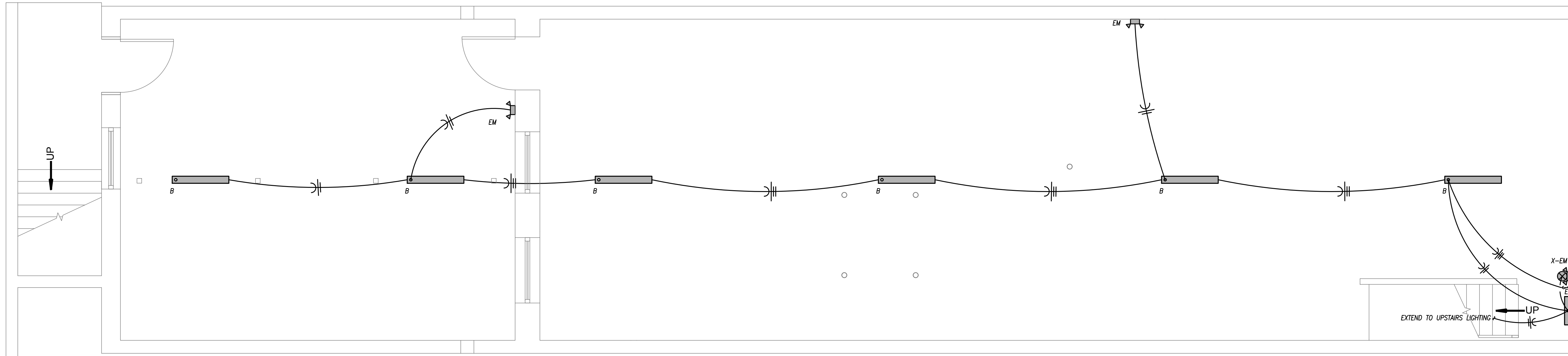
CODE NAME

SHEET NUMBER

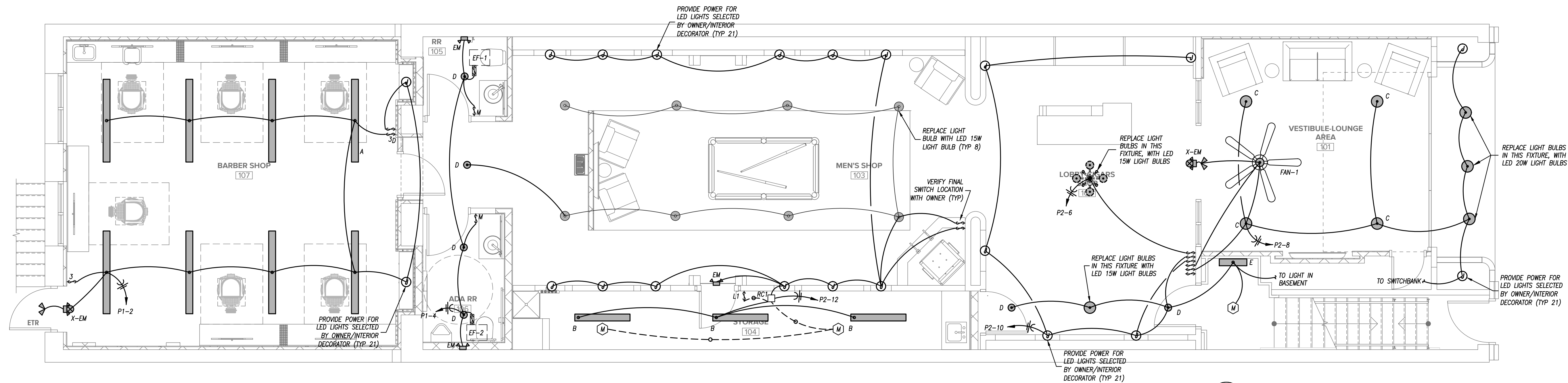
E101



PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
2949 SW WAWANAKER DR., TOPEKA, KANSAS 66614
785.271.2447 WWW.PKMRENG.COM



BASEMENT FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0"



FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

Topeka, KS

Royal Society

913 S Kansas Ave

PROJECT NUMBER:	23-031
PROJECT ARCHITECT:	SEG
PROJECT MANAGER:	JRD
DRAWN BY:	LHG
CHECKED BY:	SWM
ISSUE DATE:	05/31/23
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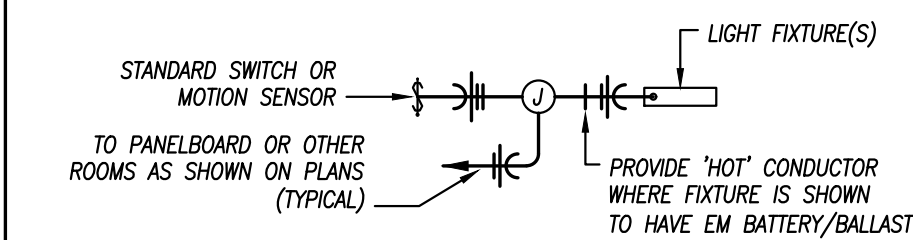
REVISIONS	

SHEET TITLE	
LIGHTING FLOOR PLAN	
CODE NAME	
SHEET NUMBER	E201

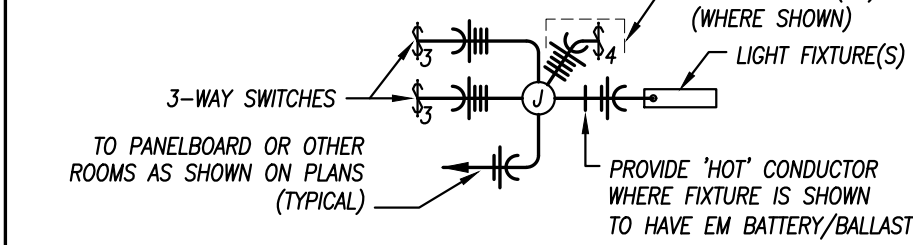
TYPICAL WIRING OF CONTROLS AND LIGHT FIXTURES

THE WIRING AND/OR TAG MARKS SHOWN BELOW ARE NOT SHOWN ON PLANS FOR CLARITY. PROVIDE WIRING FROM JUNCTION BOX(ES) TO SWITCHES/CONTROLLERS AND LIGHTS AS SHOWN BELOW FOR EACH ROOM/AREA.

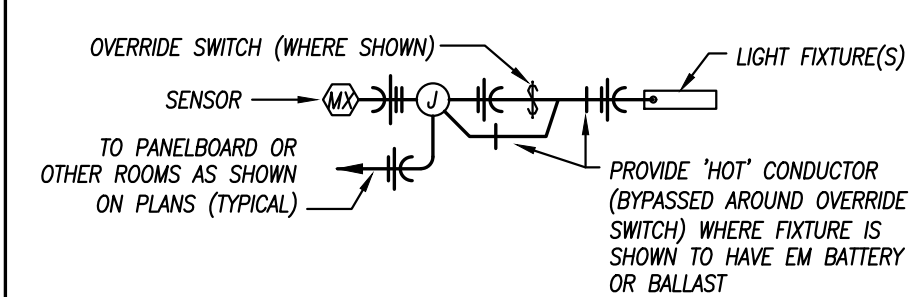
LINE VOLTAGE STANDARD WALL SWITCHES



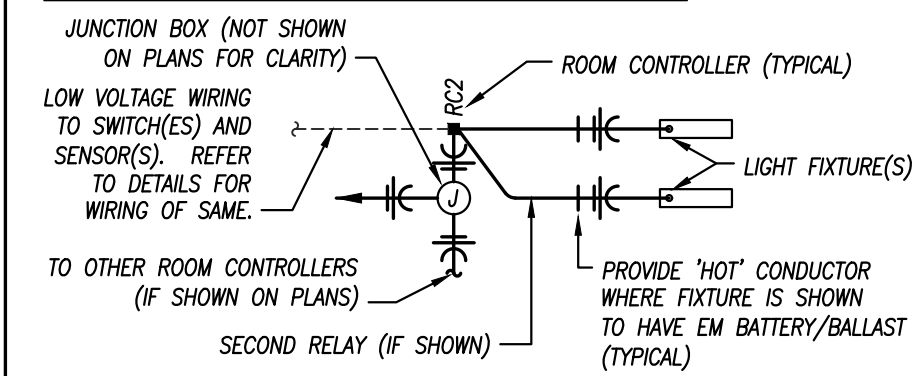
3-WAY WALL SWITCHES



LINE VOLTAGE CEILING SENSORS

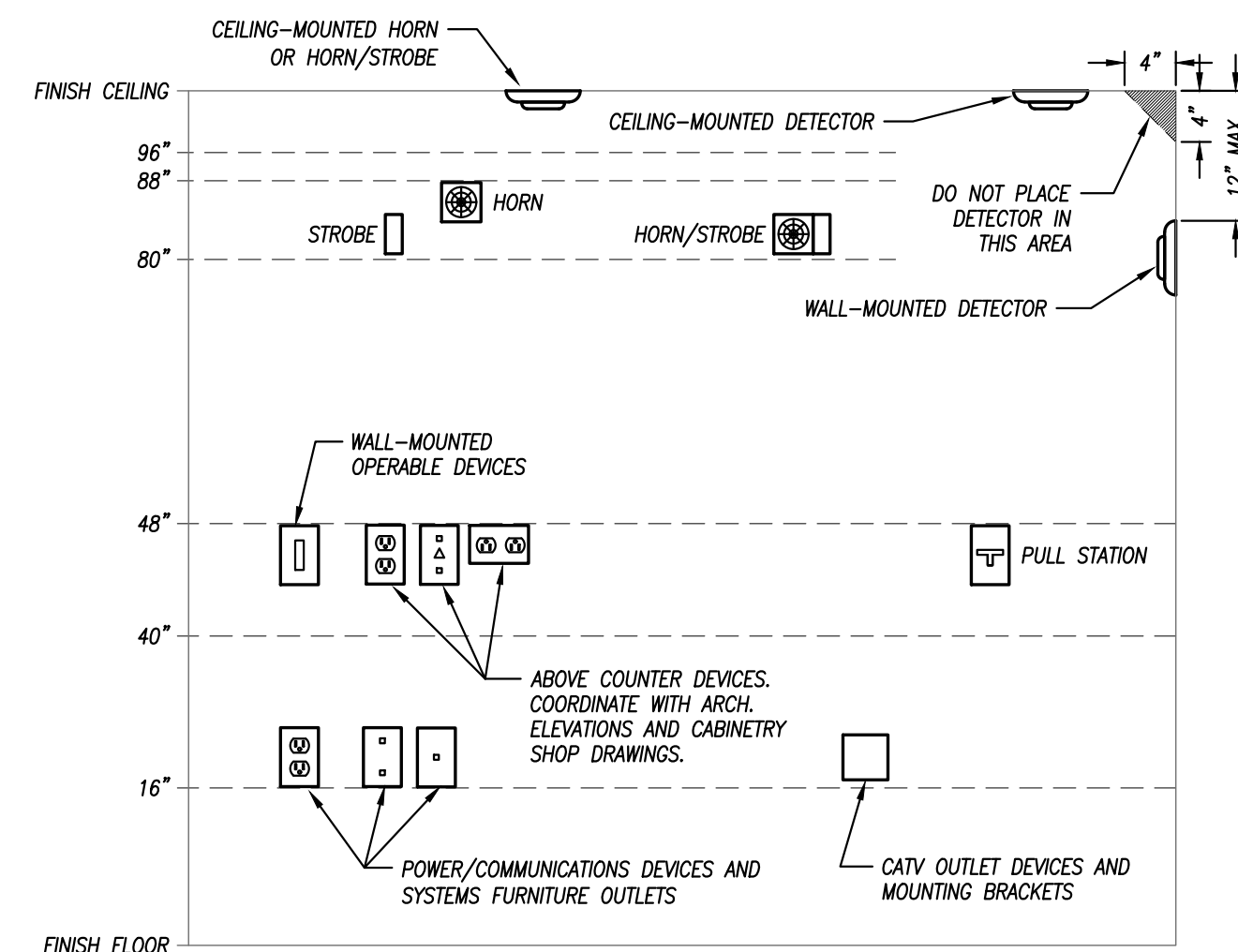


ROOM CONTROLLERS / POWER PACKS



GENERAL LIGHTING NOTES

- REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
- LIGHT FIXTURES INDICATED AS EMERGENCY FIXTURES ARE TO FUNCTION AS NIGHT LIGHTS UNLESS SPECIFICALLY SHOWN SWITCHED.
- ALL CIRCUITING SHOWN ON THIS PLAN IS DIAGRAMMATIC.
 - ALL FIXTURES SHALL BE FED FROM JUNCTION BOXES WITH LIGHT FIXTURE WHIPS (<6'). DAISY-CHAINING OF FIXTURES IS NOT ALLOWED.
 - SWITCH BOX LOCATIONS SHALL BE WIRED SO THAT A NEUTRAL WIRE IS AVAILABLE AT THE SWITCH BOX LOCATION, EITHER IN THE BOX OR AVAILABLE TO BE ADDED VIA RACEWAY OR AN ACCESSIBLE WALL CAVITY.
 - WALL SWITCHES FOR SEPARATE LOAD TYPES (EM/NORMAL, 120/277V, ETC.) SHALL NOT BE IN A SINGLE BOX.
 - REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



GENERAL NOTES:
 1. MOUNTING HEIGHTS SHOWN IN THIS DETAIL ARE TYPICAL UNLESS OTHERWISE NOTED ON THE PLANS.
 2. SEE ARCHITECTURAL ELEVATIONS FOR SPECIAL CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
 3. ALL INSTALLATIONS SHALL COMPLY WITH ADA.

VISUAL FIRE ALARM NOTIFICATION DEVICES (STROBE)
 LOCATE DEVICE SO THE BOTTOM OF THE DEVICE IS BETWEEN 80" AND 96" A.F.F. (NFPA) OR 6" BELOW CEILING, WHICHEVER IS LOWER (ADA 2010).

AUDIBLE FIRE ALARM NOTIFICATION DEVICES (HORN)
 LOCATE DEVICE SO THAT THE TOP OF UNIT IS NOT MORE THAN 90" A.F.F. AND NOT LESS THAN 6" BELOW CEILING (NFPA).

FIRE ALARM ACTIVATION DEVICES (PULL STATION)
 LOCATE FRONT-APPROACH DEVICES SO THAT THE HIGHEST OPERABLE PORTION OF THE DEVICE IS NOT MORE THAN 48" A.F.F. (ADA 2010) AND NOT LESS THAN 42" A.F.F. (NFPA).

POWER/COMMUNICATION DEVICES:
 OUTLETS SHALL BE LOCATED AT 16" A.F.F. TO THE BOTTOM OF THE BOX. ABOVE COUNTER DEVICES SHALL BE LOCATED AT 2" ABOVE THE BACKSPASH OF THE COUNTER TO THE BOTTOM OF THE DEVICES. VERIFY WITH ARCHITECTURAL DETAILS.

WALL-MOUNTED OPERABLE DEVICES:
 OPERABLE DEVICES SHALL BE LOCATED AT 48" A.F.F. TO THE TOP OF THE OPERABLE PORTION OF THE DEVICE.

WALL-MOUNTED OPERABLE DEVICES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 LIGHT SWITCHES, DIMMERS, CONTROLS, ETC. PUSH BUTTONS, NURSE/PATIENT CALL DEVICES (INCLUDING THOSE FOR STAFF USE), OTHER CONTROL OR "CALL" DEVICES.

MOUNTING HEIGHTS FOR WALL-MOUNTED DEVICES

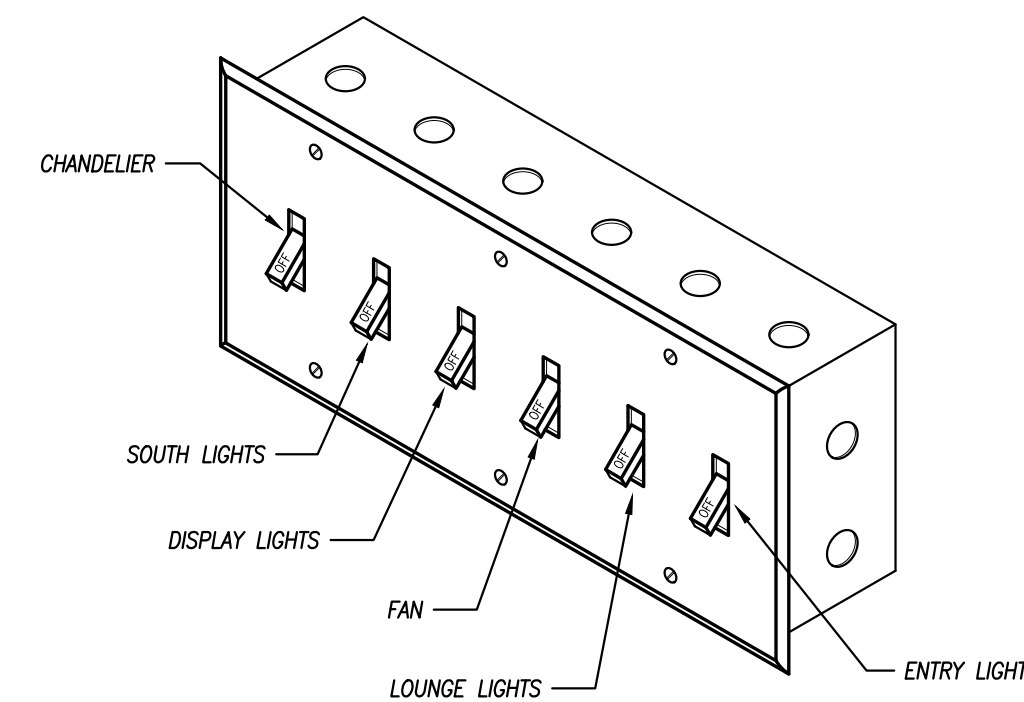
NOT TO SCALE

LIGHT FIXTURE SCHEDULE

PLAN MARK	MANUFACTURER/MODEL	SIZE	MOUNTING	FINISH	MIN LUMEN/MAX WATTS	CRIC/CT	NOTES
A	WILLIAMS MKKUD-6-LB/835D-F	6"	SUSPENDED	WHITE	1,683 LUMENS/FT, 14 WATTS/FT	80/3500K	1
B	WILLIAMS 75S-4-DRY-UNV	4"	SURFACE	WHITE	5,300 LUMENS/48 WATTS	80/3500K	1
C	WILLIAMS 8CR-TL-L30-835-DIM-UNV	8"	SUSPENDED		3,003 LUMENS/27 WATTS	80/3500K	1
D							
EM	MULE LTG MRDR-6-12-LED-W		SURFACE	WHITE	---	---	2
X-EM	MULE LTG ALURW-REM/AS/LED-2-WP		SURFACE WALL/CEILING	WHITE	LED/LED		2, 4

NOTES LEGEND

- PROVIDE DIMMABLE LED DRIVER UNIVERSAL VOLTAGE
- PROVIDE EMERGENCY BATTERY MINIMUM OF 1000 LUMENS FOR 90 MINUTES
- PROVIDE WET LOCATION RATED FIXTURE.
- PROVIDE WITH OUTDOOR REMOTE LIGHTING HEAD. STANDARD COLOR SELECTED BY ARCHITECT.



SWITCHBANK DETAIL

NOT TO SCALE

FAN SCHEDULE

PLAN MARK	MANUFACTURER	DESCRIPTION	MOUNTING	SERVICE	MAX CFM	WEIGHT	ELECTRICAL	NOTES
FAN-1	KENSGROVE	72" LED MATTE BLACK FAN WITH LIGHT AND REMOTE CONTROL	CEILING	AIR CIRCULATION	10,590	31 LB	120V, 1Ø, 20A	1

NOTES LEGEND

- PROVIDE WITH DOWNROD MOUNT.

SINGLE-SECTION PANELBOARD SCHEDULE

PANEL DESIGNATION: EXISTING P2		CIRCUIT #		MAIN LUG AMPS: 125		MAIN BREAKER: 100		VOLTAGE: 240/120		PHASE/WIRE: 1Ø, 3W	
MOUNTING: -		LOCATION: -		C/B		PHASE		DESCRIPTION			
DESCRIPTION	PHASE	C/B	TRIP	POLE	POLE	TRIP	A	B			
REC: LOUNGE	360	20	1	1	2	1	20	1500			EH-1
REC: LOUNGE		540	20	1	3	4	1	20	1500		EH-2
REC: LOUNGE TV	180	20	1	5	6	1	20	500			EXISTING CHANDELIER
REC: LOBBY POS		180	20	1	7	8	1	20	1000		LTG: LOUNGE
REC: LOBBY POS	180	20	1	9	10	1	20	1000			LTG: LOBBY/BASEMENT
REC: LOBBY		360	20	1	11	12	1	20	1000		LTG: MEN'S SHOP
REC: SHOE SHINE	180	20	1	13	14	1	20	-	-		SPARE
SPARE		-	20	1	15	16	1	20	-	-	SPARE
SPARE		-	20	1	17	18	1	20	-	-	SPARE
SPARE		-	20	1	19	20	1	-	-	-	-
-		-	1	21	22	1	-	-	-	-	-
-		-	1	23	24	1	-	-	-	-	-
-		-	1	25	26	1	-	-	-	-	-
-		-	1	27	28	1	-	-	-	-	-
-		-	1	29	30	1	-	-	-	-	-
-		-	1	31	32	1	-	-	-	-	-
-		-	1	33	34	1	-	-	-	-	-
-		-	1	35	36	1	-	-	-	-	-
-		-	1	37	38	1	-	-	-	-	-
-		-	1	39	40	1	-	-	-	-	-
TOTALS	900	1080		1	41	42	1	-	-	-	-
							3000	3500	TOTALS		

PANELBOARD SIZING LOAD			
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE MIN. (VA)
LIGHTS	3,500	1.25	4,375
RECEPTACLES	1,980	0KVA + 50% RES	1,980
MOTORS	0		0
AIR CONDITIONING	0	0.00	0
SPACE HEATING	3,000	1.00	3,000
CONTINUOUS	0	1.25	0
NON-CONTINUOUS	0	1.00	0
MISC. LOADS 1	0	1.00	0
MISC. LOADS 2	0	1.00	0
SIZING LOAD:			9,355
SIZING LOAD (AMPS):			39

CONNECTED PHASE LOADS		
PHASE	VA	AMPS
A	3,900	32.5
B	4,580	38.2
TOTALS	8,480	35.3

REMARKS:
 1. CONTRACTOR MAY USE EXISTING BREAKERS AS AVAILABLE AND PROVIDE NEW AS REQUIRED.

SINGLE-SECTION PANELBOARD SCHEDULE

PANEL DESIGNATION: EXISTING P1		CIRCUIT #		MAIN LUG AMPS: 225		MAIN BREAKER: 225		VOLTAGE: 240/120		PHASE/WIRE: 1Ø, 3W	
MOUNTING: -		LOCATION: -		C/B		PHASE		DESCRIPTION			
DESCRIPTION	PHASE	C/B	TRIP	POLE	POLE	TRIP	A	B			
REC: STATION 1	360	20	1	1	2	1	20	1000			LTG: BARBER SHOP
REC: STATION 2		360	20	1	3	4	1	20	130		LTG: BATHROOMS
REC: STATION 3	360	20	1	5	6	1	20	180			RECEPT BELOW PANEL
REC: SHAMPOO		360	20	1	7	8	1	20	936		FURNACE-1
REC: STATION 4	360	20	1	9	10	1	20	936			FURNACE-2
REC: STATION 5		360	20	1	11	12	1	20	-	-	SPARE
REC: SINK	360	20	1	13	14	1	20	-	-	-	SPARE
REC: BARBER SHOP		540	20	1	15	16	2	25	2724		HP-1
REC: BATHROOM	360	20	1	17	18	-	-	2724			-
REC: MEN'S SHOP		1080	20	1	19	20	2	25	2724		HP-2
REC: STORAGE	720	20	1	21	22	-	-	2724			-
REC: WASHER		1030	20	1	23	24	2	30	2496		WH-1
REC: DRYER	2800	20	2	25	26	-	-	2496			-
-		2800	-	-	27	28	1	20	180		REC: OUTDOOR
REC: TV	180	20	1	29	30	1	20	180			REC: BASEMENT
REC: DRINKING FOUNTAIN		650	20	1	31	32	1	20	-	-	SPARE
REC: SINK	180	20	1	33	34	1	20	-	-	-	SPARE
REC: DISPLAY		180	20	1	35	36	1	20	-	-	SPARE
-		-	-	1	37	38	1	20	-	-	SPARE
PANELBOARD EXISTING P2		4240	100	2	39	40	1	20	-	-	SPARE
TOTALS	4240	11600		-	41	42	1	20	-	-	SPARE
							10240	9190	TOTALS		

PANELBOARD SIZING LOAD			
LOAD DESCRIPTION	CONNECTED	DEMAND	CODE MIN. (VA)
LIGHTS	1,130	1.25	1,413
RECEPTACLES	13,580	0KVA + 50% RES	11,790
MOTORS	0		0
AIR CONDITIONING	10,896	1.00	10,896
SPACE HEATING	1,872	0.00	0
CONTINUOUS	4,992	1.25	6,240
NON-CONTINUOUS	0	1.00	0
MISC. LOADS 1	0	1.00	0
MISC. LOADS 2	0	1.00	0
SIZING LOAD:			30,339
SIZING LOAD (AMPS):			126

CONNECTED PHASE LOADS		
PHASE	VA	AMPS
A	20,160	168.0
B	20,790	173.3
TOTALS	40,950	170.6

REMARKS:
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SHEET TITLE

ELECTRICAL SCHEDULES & DETAILS

CODE NAME

SHEET NUMBER

E301